



Oregon State University

COMPREHENSIVE RESERVE INVITATION TO BID (ITB) #2026-021520

SOAP CREEK RANCH BRIDGE REPLACEMENT

ISSUE DATE: April 15, 2026

MANDATORY PRE-BID CONFERENCE:
May 6, 2026 at 11:30 AM Pacific Time (PT)
28120 Beef Barn Road

Corvallis, Oregon 97330

BID DUE DATE/TIME:
May 27, 2026 at 3:00 PM Pacific Time (PT)
Via electronic submission to
bids@oregonstate.edu

QUESTION DEADLINE: May 13, 2026 at 5:00 PM Pacific Time (PT)

PROJECT NUMBER: 2537-24A

CONTRACT ADMINISTRATOR:

Shoshana Shabazz, Purchasing Analyst

Construction Contracts Administration
Oregon State University
644 Southwest 13th Street
Corvallis, Oregon 97333

Email: ConstructionContracts@oregonstate.edu

AWARD DECISION APPEALS:

Hanna Emerson, Assistant Vice President and
Chief Procurement Officer

Office of Procurement, Payment, and Travel
Oregon State University
644 Southwest 13th Street
Corvallis, Oregon 97333

Email: hanna.emerson@oregonstate.edu

It is the Bidder's responsibility to continue to monitor the [OSU Business and Bid Opportunities](#) website for Addenda. Failure to acknowledge any Addenda on the Bid Form may cause your Bid to be considered non-responsive.

OSU standards and policies govern this solicitation ([Procurement Thresholds and Methods, Procurement Solicitations and Contracts](#)) unless otherwise referenced or stated.

1.0 INTRODUCTION

1.1 Solicitation Overview

- 1.1.1** Oregon State University (“OSU” or “Owner”) is conducting a competitive Invitation to Bid (ITB) process for the Soap Creek Ranch Bridge Replacement Project, Project Number 2537-24A.
- 1.1.2** The Work consists of demolition and replacement of the existing bridge at 28120 Beef Barn Road, Corvallis, Oregon 97330. The existing structure is a single-lane, approximately seventy (70) foot single-span concrete and steel bridge which will be removed and replaced in accordance with the Construction Documents included with this ITB.
- 1.1.3** This solicitation is issued as a Comprehensive Reserve Invitation to Bid under the Oregon State University Construction Related Services Reserve Contracting Program.
- 1.1.4** **Only firms that are accepted participants in OSU’s Construction Related Services Reserve Contracting Program prior to submitting a Bid are eligible to submit a Bid.** Firms that are not currently participants in the Reserve Program may apply for entry into the program. However, firms must be approved and active in the Reserve Program before submitting a Bid in response to this ITB.
- 1.1.5** Information regarding the Reserve Contract Program and the application process is available at: <https://bid.oregonstate.edu/>
- 1.1.6** The Contract will be awarded to the lowest responsive and responsible bidder submitting a lump sum Bid for the Work described in this ITB.

1.2 Background

Oregon State University in Corvallis, OR is located within the traditional homelands of the Mary's River or Ampinefu Band of Kalapuya. Following the Willamette Valley Treaty of 1855 (Kalapuya etc. Treaty), Kalapuya people were forcibly removed to reservations in Western Oregon. Today, living descendants of these people are a part of the Confederated Tribes of Grand Ronde Community of Oregon (<https://www.grandronde.org>) and the Confederated Tribes of the Siletz Indians (<https://ctsi.nsn.us>).

Founded in 1868 as Oregon's land grant institution, OSU serves the state, the nation and the world as a premier 21st-century research university. OSU is committed to exceptional research, discovery, innovation and engagement — and to integrating its research and engagement mission with the delivery of a high-quality, globally relevant and affordable education for the people of Oregon and beyond. OSU is one of only two land, sea, space and sun grant universities in the U.S. and is the only university in Oregon to have earned both Carnegie Classifications for Very High Research Activity and Community Engagement.

The university's 570-acre main campus is located in the city of Corvallis, a vibrant college town of nearly 58,000 in the heart of Western Oregon's Willamette Valley. Corvallis consistently ranks among the safest, most highly educated and greenest small cities in the nation.

1.3 Location

1.3.1 The Project site is located at 28120 Beef Barn Road, Corvallis, Oregon 97330, within the Oregon State University Soap Creek Ranch property in Benton County, Oregon.

1.3.2 The bridge crossing provides access along Beef Barn Road over Soap Creek and serves internal ranch operations associated with Oregon State University agricultural research and land management activities.

1.3.3 Construction activities will occur within the existing bridge footprint and adjacent roadway approaches. During construction, Oregon State University will reroute internal ranch traffic to alternate access routes. The Contractor shall coordinate all site access, staging, and delivery operations to maintain safe conditions for University personnel, visitors, and construction activities.

1.3.4 The Project area includes the existing bridge structure, roadway approaches, and adjacent creek corridor as shown in the Construction Documents.

1.4 Summary of Work

- 1.4.1** The Work consists of the demolition and replacement of the existing bridge structure located on Beef Barn Road at Soap Creek.
- 1.4.2** The existing structure is a single-lane, approximately seventy (70) foot single-span concrete and steel bridge which will be removed and replaced with a new bridge structure in accordance with the Construction Documents.
- 1.4.3** The Work will be procured as a lump sum construction contract. No alternates or unit prices are included in this solicitation.

1.5 Scope of Work

- 1.5.1** The Work required under this ITB includes, but is not limited to, the following:
- 1.5.1.1** Prepare the site including sediment and silt control measures.
- 1.5.1.2** Demolish and remove the existing bridge structure and associated components, including removal of existing bridge piers to one (1) foot below mudline and backfilling with gravels, as required by the Construction Documents.
- 1.5.1.3** Construct bridge approaches and prepare bridge foundations in accordance with the Construction Documents, including geotechnical engineer guidance where required by the Construction Documents.
- 1.5.1.4** Furnish and install geotextile fabric, rock, fill material, abutment scour countermeasures, bridge deck, wearing surface, and all associated bridge and approach work required by the Construction Documents.
- 1.5.1.5** Implement erosion control, sediment control, temporary water control, and dewatering measures required to complete the Work in accordance with the Contract Documents.
- 1.5.1.6** Comply with Owner-provided permitting and environmental compliance requirements included in the Contract Documents. Owner will obtain county, state, and federal permits for the Project. Contractor shall perform the Work in compliance with all permit requirements included in the Contract Documents.
- 1.5.1.7** Provide traffic control as necessary for equipment movement or deliveries affecting Soap Creek Road and coordinate the Work with ongoing Owner operations at Soap Creek Ranch.

- 1.5.1.8** Develop and restore the site, including post-construction stormwater management, restoration of disturbed areas, restoration of disturbed areas outside the limits of roadways with native vegetation, and implementation of short-term stabilization measures until permanent erosion control measures are effective, as required by the Construction Documents.
- 1.5.1.9** Complete all Work necessary for a fully operational bridge crossing.
- 1.5.1.10** All Work shall be performed in accordance with the Contract Documents, including the structural drawings, site and hydrology drawings, Division 1 Requirements, and all other documents issued as part of this ITB.
- 1.5.1.11** In-water work shall be performed only within the in-water work period identified in the Construction Documents.
- 1.5.1.12** The in-water work period for this Project is July 1 through October 31.

2.0 SCHEDULE

Issue Date	April 15, 2026
Mandatory Pre-Bid Conference	May 6, 2026 at 11:30 AM Pacific Time (PT) – 28120 Beef Barn Road, Corvallis, Oregon 97330
Mandatory Site Visit	May 6, 2026 immediately following Pre-Bid Conference at 28120 Beef Barn Road, Corvallis, Oregon 97330
Question Deadline	May 13, 2026 at 5:00 PM Pacific Time (PT)
Final Addendum Issuance (if necessary)	By May 20, 2026
Bid Due Date/Time	May 27, 2026 at 3:00 PM Pacific Time (PT)

The following dates are tentative and subject to change without notice

Notice of Intent to Award	By June 3, 2026
Estimated Contract Execution	By June 11, 2026
Estimated Notice to Proceed	June 11, 2026

2.1 OSU will make every effort to adhere to the above schedule. It is however, subject to change.

3.0 QUESTIONS, SOLICITATION REVISION REQUESTS, CHANGE OR MODIFICATION, APPEALS

3.1 Questions

3.1.1 All questions and contacts with OSU regarding any information in this ITB must be addressed in writing via email to constructioncontracts@oregonstate.edu no later than the **Question Deadline** as stated in Section 2.0.

3.2 Solicitation Process Revision Requests.

3.2.1 Bidders may submit a written request for change of particular solicitation provisions and/or contract terms and conditions to the **Chief Procurement Officer** at the address or email listed in this document. Such requests for change shall be received no later than the **Question Deadline** listed above.

3.2.2 Such requests for change shall include the reasons for the request and any proposed changes to the solicitation provisions, specifications and/or contract terms and conditions.

3.3 Change or Modification

3.3.1 Any change or modification provided by OSU for this ITB or the documents included as exhibits to this ITB shall be made by a duly issued Addendum made available to all firms on the [OSU Business and Bid Opportunities](#) website.

3.3.2 It is the responsibility of each firm to visit the website and download any addenda to this ITB.

3.3.3 No information received in any manner different than as described herein shall serve to change the ITB in any way, regardless of the source of the information.

3.4 Appeals

3.4.1 Appeals related to the OSU solicitation process and award decisions and actions shall be pursuant to OSU Standards ([Procurement Thresholds and Methods, Procurement Solicitations and Contracts](#)).

3.4.2 All written appeals must be delivered to the **Chief Procurement Officer**, at the address given in this ITB.

4.0 PUBLIC RECORD

4.1 Owner will retain this ITB and one copy of each bid received, together with copies of all documents pertaining to the award of a contract. These documents will be made a part of a file or record, which shall be open to public inspection after Owner has announced its intent to award a contract. If a bid contains any information that is considered a trade secret under ORS 192.345(2), you must mark each trade secret with the following legend: **“This data constitutes a trade secret under ORS 192.345(2), and shall not be disclosed except in accordance with the Oregon Public Records Law, ORS Chapter 192.”**

4.2 The Oregon Public Records Law exempts from disclosure only bona fide trade secrets, and the exemption from disclosure applies only “unless the public interest requires disclosure in the particular instance.”

4.2.1 Therefore, non-disclosure of documents or any portion of a document submitted as part of a proposal may depend upon official or judicial determination made pursuant to the Public Records Law.

4.3 In order to facilitate public inspection of the non-confidential portion of the proposal, material designated as confidential shall accompany the proposal, but shall be readily separable from it. Prices, makes, model or catalog numbers of items offered, scheduled delivery dates, and terms of payment shall be publicly available regardless of any designation to the contrary.

4.3.1 Any proposal marked as a trade secret in its entirety shall be considered non-responsive and shall be rejected.

5.0 FORM OF AGREEMENT

5.1 A sample copy of the Oregon State University Reserve Contract Supplement for Construction Related Services is included as an Exhibit to this ITB and illustrates the form of agreement that will be executed for the Work. The executed Reserve Contract Supplement will incorporate the Contract Documents applicable to this Project, including the Oregon State University General Conditions for Reserve Contracts, this Solicitation and any Addenda, the Technical Specifications including Division 1 Requirements, the Drawings, and the Pricing Documents.

5.2 The sample contract is provided for reference only. The final executed Reserve Contract Supplement may include project-specific information and administrative details necessary to complete the agreement for this Project.

6.0 BUREAU OF LABOR AND INDUSTRIES (BOLI) PREVAILING

6.1 Pursuant to the Reserve Contract, Prevailing Wage Rates requirements apply to this Scope. Refer to the Reserve Contract for Prevailing Wage Rates.

6.2 The Work will take place in Benton County, Oregon.

6.3 BOLI wage rates are available here:

https://www.oregon.gov/boli/WHD/PWR/Pages/pwr_state.aspx.

7.0 INSTRUCTIONS TO BIDDERS

7.1 **Summary of Work.** The Work contemplated in this document shall be for the Owner in connection with the Project described in the Summary of Work in Section 1.0 of this document.

7.2 **Pre-Bid Conference and Site Visit.**

7.2.1 Mandatory Pre-Bid Conference and Site Visit

7.2.1.1 A mandatory Pre-Bid Conference and Site Visit will be held at the Project site as identified in Section 2.0 Schedule of this ITB. The conference will begin at the time listed in Section 2.0 and will be followed immediately by a site visit.

7.2.1.2 The location for the Pre-Bid Conference and Site Visit is:
28120 Beef Barn Road
Corvallis, Oregon 97330

7.2.1.3 Prime Bidders shall have a representative attend the Pre-Bid Conference and Site Visit. Bids will not be accepted from firms that do not have a representative attend the mandatory Pre-Bid Conference and Site Visit.

7.2.1.4 Attendance will be documented by Oregon State University at the beginning of the Pre-Bid Conference. Each Prime Bidder shall provide the attendee's name, firm name, and email address at the time of check-in.

7.2.1.5 Bidders arriving more than five (5) minutes after the scheduled start time of the conference, as determined by OSU's clock, or after the discussion portion of the meeting has concluded, will not be recorded as attending the conference and their Bid will be considered non-responsive.

7.2.2 Examination of the Site

7.2.2.1 Bidders are responsible for examining the Project site and becoming familiar with the conditions under which the Work will be performed. Failure to examine the site will not relieve the Contractor from the obligation to perform the Work in accordance with the Contract Documents.

7.2.3 Familiarity with Contract Documents

7.2.3.1 The Bidder shall be responsible for becoming fully informed regarding the quality, quantity, and sources of materials and the conditions affecting the Work as described in the Contract Documents and exhibits to this ITB.

7.2.4 Responsibility for Conditions

7.2.4.1 The Owner will not be responsible for any loss or unanticipated costs that may arise due to the Contractor's failure to obtain full information regarding the Work site, materials, and conditions affecting the Work.

7.2.5 Statements Outside the Solicitation

7.2.5.1 No statement made by any officer, agent, or employee of Oregon State University regarding site conditions or the Work shall be binding unless such information is included in the Contract Documents or issued by Addendum.

7.2.6 Conference Date and Time

7.2.6.1 The date and time of the Pre-Bid Conference and Site Visit are listed on the cover sheet and in the Schedule in Section 2.0 of this ITB.

7.3 **Brand-Name Specification**

7.3.1 To establish a basis of quality, certain processes, types of machinery and equipment or kinds of materials may be specified in the documents included as exhibits to this ITB either by description of process or by designating a manufacturer by name and referring to a brand or product designation or by specifying a kind of material.

7.3.2 Whenever a process is designated or a manufacturer name, brand or item designation is given, or whenever a process or material covered by patent is designated or described, it shall be understood that the words "or approved equal" follow such name, designation or description, whether they do so or not.

7.4 Substitution Approval Process

7.4.1 Prior to submitting a Bid that contains a Substitution, the Bidder must first seek approval of the Substitution from the Owner by submitting a written request to the **Contract Administrator** for approval prior to the deadline for questions as stated in this Solicitation.

7.4.2 Substitution requests shall be submitted in accordance with Division 01 requirements.

7.4.3 Only approved Substitution requests will be acknowledged via Addendum(a) to this ITB and shall become a part of the documents included as exhibits to this ITB. When approved, it is with the understanding that the substituted article or material is of equal or better value and utility than the one specified.

7.5 Execution of the Bid Form

7.5.1 The Bid Form is hereby defined as the form furnished by Owner to be completed by Bidder.

7.5.2 The Bid Form relates to Bids on this ITB.

7.5.2.1 Only the amounts and information asked for on the Bid Form will be considered as the Bid.

7.5.2.2 Each Bidder shall Bid upon the Work exactly as set forth in the Bid Form.

7.5.2.3 The Bidder shall include in the Bid a sum to cover the cost of all items contemplated by the documents included as exhibits to this ITB.

7.5.2.4 Bids that fail to address alternates set forth on the Bid Form may be considered non-responsive.

7.5.3 Each Bid Form must:

7.5.3.1 Be completed in accordance with these instructions.

7.5.3.2 Include the appropriate signatures as noted on the Bid Form.

7.5.3.3 Include numbers pertaining to the Base Bid(s) stated both in writing and in figures.

7.5.4 When Bidding on an alternate for which there is no charge, the Bidder shall write the words "No Charge" in the space provided on the Bid Form.

7.5.4.1 If one or more alternates is shown on the Bid Form, the Bidder shall indicate whether each is "add" or "deduct".

7.5.5 When Bidding on unit prices, quantities stated on the Bid Form are estimates and are included for the purpose of award of a Contract. In the event of a discrepancy between unit prices and extensions, the unit price shall govern.

7.5.6 Incomplete Bids may be rejected.

7.5.7 Bids that contain conditions not provided for on the Bid Form may be rejected.

7.5.8 Bids that contain ambiguities may be rejected.

7.5.9 With the exception of filling in the required fields on the Bid Form, no other alterations to the Bid Form shall be made.

7.6 **Submission of Bid**

7.6.1 Submit **one (1) electronic version via** email to be received by the Due Date/Time listed in this Document to bids@oregonstate.edu as stated in this ITB.

7.6.2 All Bids must be received by the OSU before the Due Date/Time.

7.6.3 OSU's official clock shall prevail in any time conflict.

7.6.4 Any Bid received after the Due Date/Time will be rejected and will be retained and made part of the Owner's archive records in accordance with OSU Standards.

7.7 **Opening of Bids.**

7.7.1 At the time of opening and reading of Bids, each Bid received, irrespective of any irregularities or informalities, may be publicly opened and read aloud.

7.8 **Acceptance or Rejection of Bids by OSU**

7.8.1 The procedures for Contract awards shall be in compliance with the provisions of OSU standards and policies adopted by the Owner.

7.8.2 The Owner reserves the right to reject any or all Bids and to waive minor informalities.

7.8.3 The Owner reserves the right to, in its sole discretion, to reject any Bid determined to be mathematically or materially unbalanced (or both).

7.8.3.1 *Mathematically Unbalanced:*

7.8.3.1.1 A Bid may be considered mathematically unbalanced if pricing for any portion of the work—including but not limited to preconstruction services, preliminary services, or other phases—is not fair or reasonable.

7.8.3.1.2 Costs should reflect a fair, proportionate, and reasonable allocation of anticipated profit, overhead, an allowance for contingencies as necessary, and other indirect costs.

7.8.3.1.3 Considering the complexity of the transaction, OSU may use a variety of factors and analytical tools to assess if a Bid is unbalanced.

7.8.3.1.3.1 For example, a Bid that is mathematically unbalanced may significantly overstate or understate costs relative to the Bidder’s reasonable and supportable actual costs; may not reflect published or market pricing data; may not fully respond to the specifications; may stage work in a manner that does not reflect the amount of work completed; may include work that could result in quality shortfalls; may not allow for availability of supplies and materials; or other similar factors.

7.8.3.1.4 Cost framework and breakdown, including discounts, price model and funding source, may also be relevant in assessing if a Bid is mathematically unbalanced.

7.8.3.2 *Materially Unbalanced*

7.8.3.2.1 A materially unbalanced Bid refers to pricing that may appear favorable in part but could result in higher overall costs or risks to the Owner.

7.8.3.2.2 This includes Bids that raise concerns about whether they will ultimately result in the lowest cost or best value.

7.8.3.3 It is the Bidder's responsibility to provide accurate and supportable cost and pricing estimates for each deliverable portion of work.

7.8.3.3.1 Should a Bidder misrepresent or falsify Bid estimates—whether to influence determination of low-bid or for any other purpose—, the Bid may be rejected as non-responsible.

7.8.3.3.2 In addition, the Bidder may also be subject to other consequences in accordance with applicable University ethics and procurement standards, including but not limited to a finding that the Bidder does not demonstrate a satisfactory record of integrity which would be considered in future solicitations or termination of current Owner contracts.

7.8.3.4 The Owner's determination of whether a Bid is unbalanced shall be conclusive for purposes of the procurement evaluation and shall be applied in accordance with University standards, policies, and applicable law.

7.8.4 Unless all Bids are rejected, the Owner will award the Contract(s) based on the lowest responsive Bid from a responsible Bidder.

7.8.4.1 If that Bidder does not execute the Contract(s), the Contract(s) will be awarded to the next lowest responsive Bid from a responsible Bidder or Bidders in succession, provided this ITB is not cancelled under the provisions of OSU standards and policies adopted by the Owner.

7.8.5 The Owner reserves the right to hold the Bid of the three lowest Bidders for a period of sixty (60) Days from the time of Bid opening pending Award of the Contract.

7.8.6 In determining the lowest Bidder, the Owner reserves the right to take into consideration any or all Base Bids as well as alternates or combinations indicated in the Bid Form.

7.8.6.1 When alternates are included on the Bid Form, they may be exercised at the sole discretion of the Owner within sixty (60) Days of the Effective Date of the Contract, unless extended by written mutual agreement of the Parties.

7.8.6.2 The Owner has the right to accept alternates without regard to order or sequence; but such acceptance must not deliberately impair the selection of a low, responsible and responsive Bidder to whom the Contract would be awarded under an equitable bid procedure.

7.8.7 If Owner has not accepted a Bid within sixty (60) Days after the opening of the Bids, each of the three lowest Bidders may withdraw the Bid submitted.

7.9 **Withdrawal of Bid**

7.9.1 At any time prior to the Due Date/Time Bidder may withdraw its Bid in accordance with OSU Standards. This will not preclude the submission of another Bid by such Bidder prior to the Due Date/Time.

7.9.2 After the Due Date/Time, Bidders are prohibited from withdrawing their Bid, except as provided by OSU Standards.

7.10 **Execution of Contract, Agreement, Performance Bond and Payment Bond**

7.10.1 The Bidder shall be required to execute the Contract as provided, and, if applicable, deliver a Performance Bond and a Payment Bond from a surety company licensed to do surety business in the State of Oregon within time period contained in the Award letter.

7.10.2 The Contract Documents shall be delivered to the Owner in the manner stated in the Award letter.

7.11 **Public Works Bond**

7.11.1 At the time of submission of its Bid, each Bidder shall have on file with the Construction Contractors Board a public works bond required by ORS 279C.836, unless otherwise exempt under that statute.

7.11.2 Failure to have on file a public works bond at the time of submission of the Bid may result in rejection of the Bid as non-responsive.

7.12 Equity Contracting

7.12.1 Owner will require the successful Contractor to comply with OSU Standards, policies, rules and procedures requiring good faith efforts in subcontracting with minority, women, emerging small business or service-disabled veteran owned business enterprises.

8.0 MISCELLANEOUS

8.1 Financial Responsibility

8.1.1 OSU reserves the right to investigate, at any time prior to execution of the Contract, the Bidder's financial responsibility to perform the anticipated services.

8.1.2 Submission of a Bid will constitute approval for OSU to obtain any credit report information OSU deems necessary to conduct the evaluation.

8.1.3 OSU will notify Bidders, in writing, of any other documentation required, which may include, but need not be limited to: recent profit-and-loss history; current balance statements; assets-to-liabilities ratio, including number and amount of secured versus unsecured creditor claims; availability of short and long-term financing; bonding capacity and credit information.

8.1.4 Failure to promptly provide this information may result in rejection of the Bid.

8.1.5 OSU may postpone the selection of apparent successful Bidder or execution of a contract in order to complete its investigation and evaluation.

8.1.6 Failure of a firm to demonstrate financial responsibility may render it non-responsible and constitute grounds for Bid rejection.

8.2 Project Termination

8.2.1 OSU reserves the right to terminate the Project or contract during any phase in the Project.

8.3 Insurance Provisions

8.3.1 During the term of the resulting contract, the awardee will be required to maintain in full force, at its own expense, from insurance companies authorized to transact the business of insurance in the state of Oregon, each insurance coverage/policy as set forth in the contract.

8.4 Nondiscrimination

8.4.1 By submission of a Bid, the Bidder certifies under penalty of perjury that the Bidder will not discriminate against minority, women, emerging small business or service-disabled veteran owned business enterprises in obtaining any required subcontracts.

8.5 AA/EEO Employer

8.5.1 OSU is an AA/EEO employer.

8.6 Compliance with Applicable Law

8.6.1 Bidder agrees to comply with all federal, state, county, and local laws, ordinances, and regulations as well as all applicable OSU Standards and Policies while on campus.

8.6.2 Smoke and Tobacco Free Campus

8.6.2.1 OSU's grounds and premises are smoke and tobacco free. Contractor and Contractor's employees, agents, Subcontractors, if any, agree not to smoke or use tobacco products while on OSU property.

8.6.3 Sexual Misconduct Policy

8.6.3.1 OSU has policies that prohibit sexual misconduct against members of the university community and in keeping with those policies Contractor and Contractor's employees, agents, and Subcontractors are prohibited from engaging in sexual misconduct against members of the university community.

8.6.4 Firearms Policy

8.6.4.1 OSU has adopted a policy that prohibits Contractor and Contractor's employees, agents and Subcontractors from possessing firearms on OSU's property.

8.7 Background Checks

8.7.1 Soap Creek Ranch, including areas associated with the bridge and surrounding farm operations, may include areas designated as critical, occupied or security-sensitive facilities. Thus, the selected Contractor shall conduct criminal background checks, including sex offender registration checks (for both: Oregon at a minimum, and national for Contractor employees that formerly lived outside of the state of Oregon) on each Contractor employee and agent with satisfactory results before referral or placement at any Owner work location designated as critical, occupied or security-sensitive facilities. Contractor must perform the criminal background checks within the twelve (12) months immediately preceding referral or placement at any Owner work location.

8.7.2 Disqualifying crimes include:

8.7.2.1 Felony convictions of any kind within the last eight (8) years.

8.7.2.2 All crimes involving weapons of any kind ever committed.

8.7.2.3 All person-to-person crimes involving physical injury to another person ever committed.

8.7.2.4 Sexual offenses of any kind ever committed, including stalking.

8.7.2.5 Child abuse, molestation, child pornography or other crimes involving child endangerment, including neglect and abandonment of any kind ever committed.

8.7.3 Contractor shall require Contractor's employees and agents to self-disclose to Contractor any new convictions that occur within three business days of the conviction. Contractor shall reassess the individual's assignment under the Contract.

8.7.4 The Owner, at its discretion, may require Contractor to reassign a Contractor employee or agent to no longer perform work under the Contract or for the Owner if, at any time, Owner believes that the Contractor employee or agent may create a danger to health or safety of the university community.

8.7.5 Contractor is solely responsible for complying with all applicable federal, state or local laws, rule and regulations, including but not limited to the Fair Credit Reporting Act and equal opportunity laws and regulations, when conducting background checks. The costs and Fair Credit Reporting Act obligations for criminal background checks are the responsibility of Contractor.

- 8.7.6** Contractor shall maintain a security log including a list of Contractor employees working in, accessing, or who will enter Owner facilities that may be designated as critical, occupied or security-sensitive; verification of each Contractor employee's satisfactory and unsatisfactory results of criminal background checks; each Contractor employee's site assignment; and each revocation of a Contractor employee's site assignment. Contractor shall update and maintain the security log during the duration of the contract and twenty-four (24) months after.
- 8.7.7** Contractor shall provide Owner with access to the security log for audit and copying purposes within twenty-four (24) hours of Owner's request.
- 8.7.8** Contractor shall require Contractor's subcontractors and agents providing services under the Contract to comply with this provision. The Owner may audit Contractor's background check processes at any time to ensure compliance with this section.
- 8.7.9** Failure of Contractor to comply with this section is a material breach of the resulting Contract and may result in the Owner seeking monetary damages or pursue other remedies, Contractor termination by the Owner without further liability or obligation, or both.
- 8.7.10** Contractor shall indemnify, defend and hold harmless the Owner and its directors, agents, trustees and employees from all claims, suits, and actions arising out of or related to any and all claims relating to the conducting of such checks and any adverse action that may be taken as a result of such checks.

8.8 **Communication Blackout**

- 8.8.1** Notwithstanding the Pre-Bid Conference, all communication, whether written or verbal, regarding any aspect of this ITB shall be directed at the **Contract Administrator**, the **Chief Procurement Officer** or designated member of The Office of Procurement, Payment, and Travel (OPPT).
- 8.8.2** Bidders are strictly prohibited from communicating with any other OSU employee, agent, or representative concerning the content, evaluation, or process of this ITB at any time during the solicitation process.
- 8.8.3** Any such unauthorized communication may result in rejection of the Bid as non-responsive.

9.0 EXHIBITS

Exhibit A	Bid Form
Exhibit B	Sample Reserve Contract Supplement for Construction Related Services
Exhibit C	Oregon State University General Conditions for Reserve Contracts
Exhibit D	Sample Payment Bond and Performance Bond
Exhibit E	MWESB Form Instructions and Report Form
Exhibit F	Technical Specifications – ITB 2026-021520 - Soap Creek Ranch Bridge Replacement prepared by Oregon State University dated April 2026
Exhibit G	Drawings, stamped by CSE Engineering, Inc. and prepared by RDG/SWCA, dated August 20, 2025
Exhibit H	Addenda, if and when applicable

End of ITB



Oregon State University

BID FORM

ITB NUMBER and NAME: ITB Number 2026-021520 - Soap Creek Ranch Bridge Replacement

BID DUE DATE AND TIME: _____
(fill in)

FROM: _____
(Name of Contractor)

TO: Oregon State University ("Owner")
Construction Contracts Administration
644 Southwest 13th Street
Corvallis, Oregon 97333

1. The Undersigned hereby proposes to furnish all material and labor and perform all work hereinafter indicated for the above project in strict accordance with the Contract Documents for the Base Bid as follows:

_____ Dollars (\$ _____)

and the Undersigned agrees to be bound by the documents either contained in or incorporated by reference in the Invitation to Bid and ADDENDA numbered ____ through____, inclusive. *(fill in blanks)*

2. The work shall be completed within the time stipulated and specified in Division 1, Section 01 11 00, of the Specifications.

3. The Undersigned certifies that: (1) This Bid has been arrived at independently and is being submitted without collusion with and without any agreement, understanding, or planned common course of action with any other vendor of materials, supplies, equipment or services described in the invitation to bid designed to limit independent bidding or competition; and (2) The contents of the Bid have not been communicated by the Undersigned or its employees or agents to any person not an employee or agent of the Undersigned or its surety on any Bid security furnished with the Bid and will not be communicated to such person prior to the official opening of the Bid.

4. The Undersigned agrees, if awarded a contract, to comply with the provisions of ORS 279C.800 through 279C.870 pertaining to the payment of the prevailing wages.

5. Contractor's CCB license number is _____. As a condition to submitting a Bid, Contractor must be licensed with the Oregon Construction Contractors Board in accordance with ORS 701.021 to 701.128, and disclose the license number. Failure to be licensed and disclose the number will render the Bid unresponsive and it will be rejected, unless contrary to federal law.

6. The Bidder hereby certifies that all subcontractors who perform construction work as described in ORS 701.005(5) are licensed with the Construction Contractors Board in accordance with ORS 701.021 to 701.128 at the time the Bid is submitted.

7. Contractor's Project Manager for this project is: _____,

Email: _____ Cell Phone: _____.

8. The Undersigned agrees, if awarded the Contract, to deliver to Owner, a satisfactory Performance Bond and Payment Bond, each in an amount equal to one hundred (100) percent of the Contract sum, using forms provided by the Owner. The surety requested to issue the Performance Bond and Payment Bond will be:

(name of surety company - not insurance agency)

The Undersigned hereby authorizes said surety company to disclose any information to the Owner concerning the Undersigned's ability to supply a Performance Bond and Payment Bond each in the amount of the Contract.

By signature below, Contractor agrees to be bound by this Bid.

NAME OF FIRM: _____

ADDRESS: _____

FEDERAL TAX ID: _____

TELEPHONE NO: _____

SIGNATURE: _____

Authorized Signature

Printed Name

***** **END OF BID** *****

OREGON STATE UNIVERSITY (OSU) RESERVE CONTRACT SUPPLEMENT
OSU RESERVE CONTRACT FOR CONSTRUCTION RELATED SERVICES
SUPPLEMENT NO. _____
SOAP CREEK RANCH BRIDGE REPLACEMENT

This OSU Reserve Contract Supplement dated _____ (the Supplement) is entered into between:

“Contractor”:

and “Owner”:
Oregon State University
Construction Contracts Administration
644 Southwest 13th Street
Corvallis, Oregon 97333-4238

(collectively the **Parties**) pursuant to the OSU Reserve Contract for Construction Related Services between the Parties (the **Reserve Contract**). Capitalized terms have the meaning defined in the General Conditions unless otherwise defined in the Reserve Contract or herein.

- 1. DESCRIPTION OF THE PROJECT.** The project to which this Supplement pertains is described as follows: Soap Creek Ranch Bridge Replacement (the Project).
- 2. WORK TO BE PERFORMED.** Contractor shall perform the following work on the project
Scope: Labor, materials, tools, equipment, supervision, and transportation to prepare the site including sediment and silt control measures; demolish and remove the existing bridge structure and associated components, including removal of existing bridge piers to one (1) foot below mudline and backfill with gravels where required by the Contract Documents; prepare the bridge site and approaches for installation of the new bridge structure; construct bridge foundations in accordance with the Contract Documents, including geotechnical engineer guidance where required by the Contract Documents; construct the replacement bridge structure and associated roadway connections in accordance with the Contract Documents, including geotextile fabric, rock, fill material, abutment scour countermeasures, and wearing surface where required by the Contract Documents; implement erosion control, sediment control, temporary water control, and dewatering measures required to complete the Work; provide traffic control as necessary for equipment movement or deliveries affecting Soap Creek Road; restore disturbed areas, including post-construction stormwater management, restoration of disturbed areas outside the limits of roadways with native vegetation, and short-term stabilization measures until permanent erosion control measures are effective; and perform all other work necessary for a fully operational bridge crossing. Owner will obtain county, state, and federal permits for the Project. Contractor shall comply with all permit conditions and environmental requirements included in the Contract Documents. In-water work shall be performed only within the in-water work period identified in the Contract Documents. The in-water work period for this Project is July 1 through October 31. Scope is further detailed in the Contract Documents including the Technical Specifications and Drawings dated April 2026, which are attached or incorporated herein by reference (the “Work”). Contractor will perform the Work according to the terms and conditions of this Supplement and the Contract Documents, which are incorporated herein by this reference.

3. **SCHEDULE.** Contractor shall perform the Work according to the following schedule: Work shall be started on or around July 1, 2026 following issuance of the Notice to Proceed. Work shall be Substantially Complete on or around October 31, 2026. Work shall achieve Final Completion on or around December 1, 2026 (the Schedule).
4. The Notice to Proceed will establish the official start of the Supplement Period as defined in the General Conditions.
5. **COMPENSATION.** Contractor shall perform the Work for a lump sum amount of \$ _____ (the Contract Price).

The cost of the Work under this Supplement, even if this Supplement is later amended to include additional work, must not exceed the greater of \$2,000,000 or the maximum allowable under OSU standards and policies.

6. **TERM.** This Supplement is effective on the date it has been signed by every Party hereto (the **Supplement Effective Date**). No Work shall be performed or payment made prior to the Supplement Effective Date. Contractor shall perform its obligations in accordance with the Contract Documents, unless this Supplement is earlier terminated or suspended.

Contractor hereby agrees that the Work set forth in this Supplement may continue beyond the Term of the Reserve Contract and will be performed through final completion of Contractor's Work, including completion of all warranty work. The Parties expressly agree that they may execute a Supplement Change Order and extend the date which Contractor's Work may be completed, which may include a date beyond the Term of the Reserve Contract.

Termination or suspension does not extinguish or prejudice Owner's right to enforce the Supplement with respect to any breach by the Contractor that has not been cured.

7. **PERFORMANCE AND PAYMENT BONDS.** The performance and payment bond requirements for this Project are as follows: As a condition precedent to the effectiveness of this Supplement and to Owner's obligation to make payment for the Work, Contractor shall provide the Owner with a performance bond and a separate payment bond in a sum equal to the Contract Price stated in Section 5 of this Supplement.
8. **PREVAILING WAGE RATES.** Pursuant to the Reserve Contract, Prevailing Wage Rates requirements apply to this Scope. Refer to the Reserve Contract for Prevailing Wage Rates. The Work will take place in Benton County, Oregon.

9. INSURANCE REQUIREMENTS. Contractor shall comply with and obtain the insurance coverage amounts stated in the General Conditions.

10. OTHER TERMS. Except as specifically modified by this Supplement, all terms of the Reserve Contract remain unchanged.

11. EXECUTION AND COUNTERPARTS. This Supplement may be executed in several counterparts, each of which shall be an original, all of which shall constitute but one and the same instrument.

Contractor hereby confirms and certifies that the representations, warranties, and certifications contained in the Reserve Contract remain true and correct as of this Supplement Effective Date.

IN WITNESS HEREOF, the Parties have duly executed this Supplement on the same date as the Supplement Effective Date.

_____, **Contractor**

Oregon State University, **Owner**

Print Name: _____

Print Name: _____

Signature: _____

Signature: _____

Title: _____

Title: _____

Date: _____

Date: _____

**OREGON STATE UNIVERSITY
GENERAL CONDITIONS FOR RESERVE CONTRACTS**

May 1, 2024

INSTRUCTIONS: These Oregon State University General Conditions for Reserve Contracts ("General Conditions") apply to all designated Reserve Contracts. Changes to the General Conditions (including any additions, deletions or substitutions) can only be made by attaching Supplemental General Conditions. The text of these General Conditions should not otherwise be altered.

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**SECTION A
GENERAL PROVISIONS**

A.1 DEFINITION OF TERMS

In the Contract Documents, the following terms shall be as defined below:

ALLOWANCE, means items of Scope that Contractor offers to perform at a price that is reasonably estimated but not definitive.

AMENDMENT, means a writing which, when fully executed by the Parties to this Supplement, constitutes a change to a Contract Document. Amendments to Supplements (hereinafter a "Change Order") shall be issued in accordance with the changes provisions of Section D and, if applicable, establish a Supplement Price or Supplement Time adjustment.

APPLICABLE LAWS, means federal, state and local laws, codes, rules, regulations and ordinances applicable to the Work, Scope, Reserve Contract, and to the Supplement.

AUTHORITIES HAVING JURISDICTION (AHJ), means any federal, state, county, municipal, local or other governmental body having jurisdiction over approval of Drawings, Specifications, the Work, the Scope, the Project or the job site.

CHANGE ORDER, means Owner's written order, signed by Owner and Contractor, authorizing and directing a modification to the Contract Documents due to a change to: (i) the scope of the Work, (ii) the Supplement Time or a material change to the schedule of performance of the Scope or the Project, or (iii) the Supplement Sum or Contractor's compensation.

CLAIM, means a demand by Contractor pursuant to Section D.3 for review of the denial of Contractor's initial request for an adjustment of Supplement terms, payment of money, extension of Supplement Time or other relief, submitted in accordance with the requirements and within the time limits established for review of Claims in these General Conditions.

CONSTRUCTION CHANGE DIRECTIVE, means a written order by the Owner to the Contractor requiring a change in the Work within the general scope of the Contract Documents, issued under the changes provisions of Section D.

CONSTRUCTION SCHEDULE, means the schedule prepared by the Contractor in Critical Path Method format and approved by the Owner, and all adjustments thereto approved by the Owner, that describes sequence and timing of the Work.

CONTRACT DOCUMENTS, means collectively, the Reserve Contract, these General Conditions, Supplemental General Conditions if any, Supplement(s), the accepted Request, Plans (including all addenda), Specifications (including all addenda), Change Orders, Amendments, Construction Change Directives, Solicitation Document and addenda thereto, Instructions to Offerors, and Supplemental Instructions to Offerors (if any), the Construction Schedule prepared and approved in accordance with the Construction Documents, and all other required Submittals.

CONTRACTOR, means the Entity awarded a Reserve Contract and or Supplement for the Scope contemplated.

DAYS, are calendar days, including weekdays, weekends and holidays, unless otherwise specified.

DESIGN PROFESSIONAL, means the Entity(ies) appointed by the Owner to make drawings and specifications and, to provide administration of the Work to the extent set forth in a Supplement or by supplemental instruction of Owner (under which Owner may delegate responsibilities to the Design professional), in accordance with ORS Chapter 671 (Architects) or ORS Chapter 672 (Engineers) and administrative rules adopted thereunder.

DIRECT COSTS, means, unless otherwise provided in the Contract Documents, the cost of materials, including sales tax, cost of delivery; cost of labor, including social security, Medicare and unemployment insurance, and fringe benefits required by agreement or custom; project specific insurance (including, without limitation, Builder's Risk Insurance and/or Installation Floater Insurance); bond premiums, rental cost of equipment, and machinery required for execution of the Work; and the additional costs of field personnel directly attributable to the Work.

FINAL COMPLETION, means the final completion of all requirements under the Contract Documents, including Supplement Closeout as described in Section K but excluding Warranty Work as described in Section I.2, and the final payment and release of all retainage, if any, released.

FINAL PAYMENT, means the last payment to the Contractor, including retainage, in connection with the Work.

FORCE MAJEURE, means any reasonably unanticipated circumstance not within a Party's reasonable control, which prevents a Party from performing its obligations under the Reserve Contract where such cause is beyond the Party's reasonable control and the non-performing party has been unable to avoid or overcome the act by the exercise of due diligence. Such acts or events include without limitation, acts of God, flood, earthquake, fire, maritime or aviation disaster, pandemic, epidemic, civil disturbance, embargo, terrorist attack, civil war, civil commotion or riots, war, threat of or preparation for war, armed conflict, imposition of sanctions, embargo or breaking off of diplomatic relations, or nuclear, chemical or biological contamination. The nonperforming Party shall, however, make all reasonable efforts to remove or eliminate such a cause of delay or default and shall, upon cessation of the cause, diligently pursue performance of its obligations.

MWESB REPORT, means an accurate report by the Contractor to the Owner identifying all Minority, Women, and Emerging Small Business (MWESB) enterprises, as those terms are defined in ORS 200.005, receiving contracts throughout the course of the Scope. A MWESB report is required as a condition of final payment for all Supplements. The report shall include the total number of contracts and subcontracts awarded to MWESB enterprises and the dollar value of their respective contracts and subcontracts including all Supplements and Amendments incorporated during the course of the project. The report shall only include enterprises certified with the State of Oregon as MWESB enterprises and shall include individual identification of each enterprise as a Minority business enterprise, a Women business enterprise, and/or an Emerging Small Business Enterprise, as applicable.

NOTICE TO PROCEED, means the official written notice from the Owner stating that the Contractor is to proceed with the Scope defined in the Contract Documents. Notwithstanding the Notice to Proceed, Contractor shall not be authorized to proceed with the Scope until all initial Supplement requirements, including the Supplement, performance bond and payment bond, and certificates of insurance, have been fully executed and submitted to Owner in a suitable form.

OFFEROR, means an Entity who submits a response to a Solicitation Document or Request, also known as Bidder, Proposer or Respondent.

OVERHEAD, means those items which may be included in the Contractor's markup (general and administrative expense and profit) and that shall not be charged as Direct Cost of the Work, including without limitation such expenses as wages or salary of personnel above the level of working foreman (i.e., superintendents and project managers), Reimbursable Expenses, expenses of Contractor's offices and supplies at the job site (e.g. job trailer) and at Contractor's principal place of business and including expenses of personnel staffing the job site office and Contractor's principal place of business, and Commercial General Liability Insurance, Automobile Liability Insurance, Workers' Compensation coverage, Umbrella Liability Insurance and Professional Liability Insurance.

OWNER, means Oregon State University (OSU). Owner may elect, by written notice to Contractor, to delegate certain duties to more than one party, including without limitation, to a Design Professional. However, nothing in these General Conditions is intended to abrogate the separate design professional responsibilities of Architects under ORS Chapter 671 or of Engineers under ORS Chapter 672.

PLANS, means the drawings which show the location, type, dimensions, and details of the Scope to be done under a given Supplement.

PROJECT, means the total design, development and construction of which the Work performed under the Construction Documents may be the whole or a part.

PUNCH LIST, means the list of Work yet to be completed or deficiencies which need to be corrected in order to achieve Final Completion of the Supplement.

RECORD DOCUMENT, means the as-built Plans, Specifications, testing and inspection records, product data, samples, manufacturer and distributor/supplier warranties evidencing transfer of ownership to Owner, operational and maintenance

manuals, shop drawings, Construction Change Directives, MWESB Reports, correspondence, certificate(s) of occupancy, and other documents listed in Subsection B.9.1 of these General Conditions, recording all Services performed.

REIMBURSABLE EXPENSES, means those expenses incurred (without overhead, fee, markup or profit) made by the Contractor and its subcontractors in the interest of the Project for mileage and travel expenses required for the performance of the Work (not including daily travel to and from the job site).

REQUEST, means a binding bid or proposal submitted by an Entity in response to Solicitation Document or Request by Owner.

SCOPE, means a specific scope of Work, as detailed in a particular Supplement.

SOLICITATION DOCUMENT, means a document used in a comprehensive or limited procurement soliciting two or more qualified sources by public notice for the same specifications and requirements.

SPECIFICATION, means a description of the physical, functional, or performance characteristics, or of the nature of the goods, services or construction, including any requirement to be satisfied by a product, material or process indicating, if appropriate, the procedures to determine whether the requirements are satisfied. Specifications may be incorporated by reference and/or may be attached to a given Supplement.

SUBCONTRACT, means a contract between the Contractor and a subcontractor for the performance of a portion of the Scope.

SUBCONTRACTOR, means an Entity having a direct contract with the Contractor, or another Subcontractor, to perform one or more items of the Scope.

SUBSTANTIAL COMPLETION, means the date when the Owner accepts in writing the construction, alteration or repair of the improvement to real property constituting the Scope or any designated portion thereof as having reached that state of completion when it may be used or occupied for its intended purpose in accordance with the Contract Documents. Substantial Completion of facilities with operating systems occurs only after thirty (30) continuous Days of successful, trouble-free operation of the operating systems as provided in Section K.3.2 unless otherwise modified by Supplemental General Conditions.

SUBSTITUTIONS, means items that in function, performance, reliability, quality, and general configuration are the same or better than the product(s) specified. Approval of any substitute item shall be solely determined by the Owner. The decision of the Owner is final.

SUPPLEMENT, means a writing which, when fully executed by the Parties thereto, constitutes written agreement between the Owner and the Contractor comprised of the Contract Documents which describe the Scope to be completed and the obligations between the Parties.

SUPPLEMENT PERIOD, as set forth in the Contract Documents, means the total period of time beginning with the full execution of a Supplement and, if applicable, the issuance of a Notice to Proceed and concluding upon Final Completion.

SUPPLEMENT PRICE, means the total dollar amount payable by Owner to Contractor, as increased or decreased by the price of approved alternates, Construction Change Directives and Change Orders, as indicated in the Contract Documents.

SUPPLEMENT TIME, means any incremental period of time allowed under the Supplement to complete any portion of the Scope as reflected in the project schedule.

SUPPLEMENTAL GENERAL CONDITIONS, means those conditions that remove from, add to, or modify these General Conditions. Supplemental General Conditions may be included in the Solicitation Document or may be a separate attachment to the Supplement.

WORK, means the furnishing of all materials, equipment, labor, transportation, services and incidentals necessary to successfully complete any individual item or an entire Supplement and the carrying out of duties and obligations imposed by the Contract Documents.

A.2 SCOPE

The Scope contemplated under any given Supplement must include all labor, materials, transportation, equipment and services for, and incidental to, the completion of all construction work in connection with the Project described in the Contract Documents. The Contractor shall perform all Work necessary so that the Project can be legally occupied and fully used for the intended use as set forth in the Contract Documents. Execution of any given Supplement by the Contractor is an express and unqualified representation that the Contractor understands the intent stated therein with respect to the Scope.

A.3 INTERPRETATION OF CONTRACT DOCUMENTS

A.3.1 Unless otherwise specifically defined in the Contract Documents, words which have well-known technical meanings or construction industry meanings are used in the Contract Documents in accordance with such recognized meanings.

A.3.2 Contract Documents are intended to be complementary. Whatever is called for in one is interpreted to be called for in all.

A.3.3 In the event of conflicts, inconsistencies, or ambiguities between or among the Contract Documents, interpretations shall be based on the following order of precedence:

(a) Supplements, Amendments, Change Orders and Construction Change Directives, with those of later date having precedence over those of an earlier date;

(b) The Reserve Contract.

(c) The Supplemental General Conditions;

(d) General Conditions;

(e) Division One (General Requirements) of the Specifications;

(f) Detailed Schedules of finishes, equipment and other items included in the Specifications;

(g) Plans and Specifications (other than Division One and the Detailed Schedules to the Specifications);

(1) Large-scale drawings on Plans;

(2) Small-scale drawings on Plans;

(3) Dimension numbers written on Plans which shall prevail and take precedence over dimensions scaled from Plans;

(h) The Solicitation Document, and any addenda thereto with those of later date having precedence over those of an earlier date.

A.3.4 In the event that there are inconsistencies between the other provisions or terms in the Contract Documents and these General Conditions, the more specific Contract provision or terms shall govern. All provisions of the Contract Documents shall be read with a purpose and intent to fully complete the Project Work with a greater degree of the quality or quantities referenced in the Contract Documents, to complete the same in a timely and workmanlike manner.

A.3.5 In the event of conflicts, inconsistencies, discrepancies or ambiguities between or among the Drawings, or between or among the Specifications, remaining after application of Section A.3.3 those Drawings or Specifications of later date shall have precedence over those of earlier date. If a conflict, inconsistency, discrepancy or ambiguity nonetheless remains, the Contractor shall provide written notice thereof to the Design Professional and Owner. Thereafter, the Contractor shall proceed as ordered in writing by the Design Professional. Thereafter, unless otherwise ordered in writing by the Design Professional, the Contractor shall provide the better quality of, and the greater quantity of, the Work. The provisions of this Section A.3.5 shall apply only to conflicts, inconsistencies, discrepancies or ambiguities in express requirements of the Drawings and Specifications and not to interpretations thereof by the Owner or Design Professional.

A.3.4 References to standard specifications, manuals, codes of any technical society, organization or association, to the laws or regulations of any governmental authority, whether such reference be specific or by implication, shall mean the

latest standard specification, manual, code, laws or regulations in effect in the jurisdiction where the project is occurring on the first published date of the Solicitation Document, except as may be otherwise specifically stated.

A.4 EXAMINATION OF PLANS, SPECIFICATIONS, AND SITE

A.4.1 It is understood that the Contractor, before submitting an Request, has made a careful examination of the Contract Documents; fully understands the responsibilities and obligations the Contractor is accepting, including indemnity and insurance obligations, has become fully informed as to the quality and quantity of materials and the character of the Work required; and has made a careful examination of the location and conditions of the site and the sources of supply for materials. The Owner will in no case be responsible for any loss or for any unanticipated costs that may be suffered by the Contractor as a result of the Contractor's failure to acquire full information in advance in regard to all conditions pertaining to the Scope. No oral agreement or conversation with any officer, agent, or personnel of the Owner, or with the Design Professional either before or after the execution of any given Supplement, shall affect or modify any of the terms or obligations herein contained.

A.4.2 Should the Plans or Specifications fail to particularly describe the materials, kind of goods, or details of construction of any aspect of the Scope, Contractor shall have the duty to make inquiry of the Owner and as applicable, the Design Professional as to what is required prior to performance of the Work. Absent Specifications to the contrary, the materials or processes that would normally be used to produce first quality finished Work shall be considered a part of the Supplement requirements.

A.4.3 Any design errors or omissions noted by the Contractor shall be reported promptly to the Owner, and confirmed in writing including without limitation, any nonconformity with Applicable Laws.

A.4.4 If the Contractor believes that adjustments to cost or Supplement Time is involved because of clarifications or instructions issued by the Owner (or Design Professional) in response to the Contractor's notices or requests for information, the Contractor must submit a written request to the Owner, setting forth the nature and specific extent of the request, including all time and cost impacts against the Supplement as soon as possible, but no later than thirty (30) Days after receipt by Contractor of the clarifications or instructions issued. If the Owner denies Contractor's request for additional compensation, additional Supplement Time, or other relief that Contractor believes results from the clarifications or instructions, the Contractor may proceed to file a Claim under Section D.3, Claims Review Process. If the Contractor fails to perform the obligations of Sections A.4.1 to A.4.3, the Contractor shall pay such costs and damages to the Owner as would have been avoided if the Contractor had performed such obligations.

A.5 INDEPENDENT CONTRACTOR STATUS

The service or services to be performed under any given Supplement are those of an independent contractor as defined in ORS 670.600. Contractor represents and warrants that it is not an officer, employee or agent of the Owner as those terms are used in ORS 30.265.

A.6 RETIREMENT SYSTEM STATUS AND TAXES

Contractor represents and warrants that it is not a contributing member of the Public Employees' Retirement System and will be responsible for any federal or state taxes applicable to payment received under any given Supplement. Contractor will not be eligible for any benefits from these payments of federal Social Security, employment insurance, workers' compensation or the Public Employees' Retirement System, except as a self-employed individual. Unless the Contractor is subject to backup withholding, Owner will not withhold from such payments any amount(s) to cover Contractor's federal or state tax obligations.

A.7 GOVERNMENT EMPLOYMENT STATUS

A.7.1 If this payment is to be charged against federal funds, Contractor represents and warrants that it is not currently employed by the Federal Government. This does not preclude the Contractor from holding another contract with the Federal Government.

A.7.2 Contractor represents and warrants that Contractor is not an employee of the State of Oregon for purposes of performing Work under any given Supplement.

**SECTION B
ADMINISTRATION OF THE SUPPLEMENT**

B.1 OWNER'S ADMINISTRATION OF THE SUPPLEMENT

B.1.1 The Owner shall administer any given Supplement as described in the Contract Documents (1) during construction (2) until Final Payment is due and (3) during the one-year period for correction of Work under the given Scope. The Owner will act as provided in the Contract Documents, unless modified in writing in accordance with other provisions of the Supplement. In performing these tasks, the Owner may rely on the Design Professional or other consultants to perform some or all of these tasks.

B.1.2 The Owner will visit the site at intervals appropriate to the stage of the Contractor's operations (1) to become generally familiar with and to keep informed about the progress and quality of the portion of the Scope completed, (2) to endeavor to guard against defects and deficiencies in the Work, and (3) to determine in general if Work is being performed in a manner indicating that the Scope, when fully completed, will be in accordance with the Contract Documents. The Owner will not make exhaustive or continuous on-site inspections to check the quality or quantity of the Work. The Owner will neither have control over or charge of, nor be responsible for the construction means, methods, techniques, sequences or procedures, or for the safety precautions and programs in connection with the Scope. Inspection of the progress, quantity, or quality of the Work performed by the Owner, any Owner representative, and public agency, the Design Professional, or any inspector, shall not relieve the Contractor of any responsibility for the compliance of all Scope with the Contract Documents.

B.1.3 Except as otherwise provided in the Contract Documents or when direct communications have been specifically authorized, the Owner and Contractor shall communicate with each other about matters arising out of or relating to the Supplement. Communications by and with the Design Professional's consultants shall be through the Design Professional. Communications by and with Subcontractors and material suppliers shall be through the Contractor. Communications by and with separate contractors shall be through the Owner.

B.2 CONTRACTOR'S MEANS AND METHODS; MITIGATION OF IMPACTS

B.2.1 The Contractor shall supervise and direct the Work, using the Contractor's best skill and attention. The Contractor shall be solely responsible for and have control over construction means, methods, techniques, sequences and procedures and for coordinating all portions of the Scope under the Supplement, unless the Contract Documents give other specific instructions concerning these matters. If the Contract Documents give specific instructions concerning construction means, methods, techniques, sequences or procedures, the Contractor shall evaluate the jobsite safety thereof and, except as stated below, shall be fully and solely responsible for the jobsite safety of such means, methods, techniques, sequences or procedures.

B.2.2 The Contractor is responsible to protect and maintain the Work and site during the course of construction and to mitigate any adverse impacts to the Scope or site, including those caused by authorized changes, which may affect cost, schedule, or quality.

B.2.3 The Contractor is responsible for the actions of all its personnel, laborers, suppliers, and Subcontractors on the Project. The Contractor shall enforce strict discipline and good order among Contractor's employees and other persons carrying out the Work. The Contractor shall not permit employment of persons who are unfit or unskilled for the tasks assigned to them.

B.3 MATERIALS AND WORKMANSHIP

B.3.1 The intent of the Contract Documents is to provide for the construction and completion in every detail of the Scope described. All Work shall be performed in a professional manner and unless the means or methods of performing a task are specified elsewhere in the Contract Documents, Contractor shall employ methods that are generally accepted and used by the industry, in accordance with industry standards.

B.3.2 The Contractor is responsible for performing the Work as required by the Contract Documents. Defective Work shall be corrected at the Contractor's expense.

B.3.3 Work performed, and materials furnished shall be subject to inspection and/or observation and testing by the Owner or Owner's other Contractors, as applicable, to determine if Work performed and or materials furnished conform to the Contract Documents. Inspection of the Work by the Owner, or Owner's other Contractors, as applicable, does not relieve the Contractor of responsibility for the Work in accordance with the Contract Documents.

B.3.4 Contractor shall furnish adequate facilities, as required, for the Owner to have safe access to the Scope and site including without limitation walkways, railings, ladders, tunnels, and platforms. Producers, suppliers, and fabricators shall also provide proper facilities and access to their facilities.

B.3.5 The Contractor shall furnish samples of materials for testing by the Owner and include the cost of the samples in the Supplement Price.

B.4 PERMITS

Owner shall obtain and pay for the general building permit and pay for any specialty permits required for the Scope. Contractor shall obtain and pay for all other necessary permits and licenses, except for those specifically excluded in the Supplemental General Conditions, for the construction of the Work, for temporary obstructions, enclosures, opening of streets for pipes, walls, utilities, environmental Work, etc., as required for the Project. Contractor shall be responsible for all violations of the law, in connection with the construction or caused by obstructing streets, sidewalks or otherwise. Contractor shall give all requisite notices to public authorities. The Contractor shall pay all royalties and license fees. The Contractor shall defend all suits or claims for infringement of any patent or other proprietary rights and save harmless and blameless from loss, on account thereof, Owner, and its departments, divisions, members and employees.

B.5 COMPLIANCE WITH GOVERNMENT REGULATIONS

B.5.1 Contractor shall comply with Applicable Laws pertaining to the Work and any given Scope under a Supplement. Failure to comply with such requirements shall constitute a breach of contract and shall be grounds for Contract and or Supplement termination. Without limiting the generality of the foregoing, Contractor expressly agrees to comply with the following, as applicable:

(a) Title VI and VII of Civil Rights Act of 1964, as amended; (ii) Section 503 and 504 of the Rehabilitation Act of 1973, as amended; (iii) the Health Insurance Portability and Accountability Act of 1996; (iv) the Americans with Disabilities Act of 1990, as amended; (v) ORS Chapters 659 and 659A; as amended; (vi) all regulations and administrative rules established pursuant to the foregoing laws; and (vii) all other applicable requirements of federal and state civil rights and rehabilitation statutes, rules and regulations.

B.5.2 Contractor shall comply with all applicable requirements of federal and state civil rights and rehabilitation statutes, rules and regulations, and

(a) Contractor shall not discriminate against Disadvantaged Business Enterprise, Minority, Women, Socially Disadvantaged Individual, Service Disabled Veterans, Economically Disadvantaged or Emerging Small Business enterprises, as those terms are defined in ORS 200.005, or a business enterprise that is owned or controlled by or that employs a disabled veteran, as that term is defined in ORS 408.225, in the awarding of subcontracts.

(b) Contractor shall maintain, in current and valid form, all licenses and certificates required by Applicable Laws or any given Supplement when performing the Work.

B.5.3 Unless contrary to federal law, Contractor shall certify that it shall not accept a bid from Subcontractors to perform Scope as described in ORS 701.005 under any given Supplement unless such Subcontractors are registered with the Construction Contractors Board in accordance with ORS 701.021 to 701.068 at the time they submit their bids to the Contractor.

B.5.4 Unless contrary to federal law, Contractor shall certify that each landscape contractor, as defined in ORS 671.520(2), performing Scope under any given Supplement holds a valid landscape contractor's license issued pursuant to ORS 671.560.

B.5.5 The following notice is applicable to Contractors who perform excavation Work. ATTENTION: Oregon law requires you to follow rules adopted by the Oregon Utility Notification Center. Those rules are set forth in OAR 952-001-0010 through OAR 952-001-0100. You may obtain copies of the rules by calling the center at (503)232-1987.

B.5.6 Failure to comply with any or all of the requirements of B.5.1 through B.5.5 shall be a breach of contract and constitute grounds for Contract and or Supplement termination. Damages or costs resulting from such noncompliance shall be the responsibility of Contractor.

B.6 SUPERINTENDENCE

Contractor shall keep on the site, during the progress of the Scope, a competent superintendent and any necessary assistants who shall be satisfactory to the Owner and who shall represent the Contractor on the site. Directions given to the superintendent by the Owner shall be confirmed in writing to the Contractor.

B.7 INSPECTION

B.7.1 Owner shall have access to the site at all times.

B.7.2 Inspection of the Work will be made by the Owner at its discretion. The Owner will have authority to reject Work that does not conform to the Contract Documents. Any Work found to be not in conformance with the Contract Documents, at the discretion of the Owner, shall be removed and replaced at the Contractor's expense.

(a) If the Contractor defaults or neglects to carry out the Work in accordance with the Contract Documents and fails within a ten (10) Day period after receipt of notice from the Owner to commence and continue correction of such default or neglect with diligence and promptness, the Owner may, without prejudice to other remedies the Owner may have, correct such default or neglect. The Owner may deduct from the following Contractor Application for Payment the amount reasonably necessary to reimburse the Owner for the reasonable cost of correcting such deficiencies, including Owner's expenses and compensation for the Design Professionals' and their respective consultants' additional services made necessary by such default, neglect, or failure. If current and future payments are not sufficient to cover such amounts, the Contractor shall pay the difference to the Owner. Such action by the Owner and amounts charged to the Contractor are both subject to Section D.3 of these General Conditions.

B.7.3 Contractor shall make or obtain at the appropriate time all tests, inspections and approvals of portions of the Scope required by the Contract Documents or by Applicable Laws or orders of public AHJ. Unless otherwise provided, the Contractor shall make arrangements for such tests, inspections and approvals with an independent testing laboratory or entity acceptable to the Owner, or with the appropriate public authority, and shall bear all related costs of tests, inspections and approvals. Tests or inspections conducted pursuant to the Contract Documents shall be made promptly to avoid unreasonable delay in the Work. The Contractor shall give the Owner timely notice of when and where tests and inspections are to be made so that the Owner may be present for such procedures. Required certificates of testing, inspection or approval shall, unless otherwise required by the Contract Documents, be secured by the Contractor and promptly delivered to the Owner.

B.7.4 As required by the Contract Documents, Work performed, or material used without required inspection or testing and/or without providing timely notice to the Owner may be ordered removed at the Contractor's expense.

B.7.5 If directed to do so any time before the Work is accepted, the Contractor shall uncover portions of the completed Work for inspection. After inspection, the Contractor shall restore such portions of Work to the standard required by the Supplement. If the Work uncovered is unacceptable or was done without required testing or inspection or sufficient notice to the Owner, the uncovering and restoration shall be done at the Contractor's expense. If the Work uncovered is acceptable and was done with sufficient notice to the Owner, the uncovering and restoration will be paid for pursuant to a Change Order.

B.7.6 If any testing or inspection reveals failure of the portions of the Scope to comply with requirements established by the Contract Documents, all costs made necessary by such failure, including those of repeated procedures and compensation for the Owner's and Design Professional's services and expenses, shall be at the Contractor's expense.

B.7.7 When the United States government participates in the cost of the Scope, or the Owner has an agreement with other public or private organizations, or if any portion of the Scope is being performed for a third party or in close proximity to third party facilities, representatives of these organizations shall have the right to inspect the Work affecting their interests or property. Their right to inspect shall not make them a party to the Supplement and shall not interfere with the rights of the Parties of the Supplement. Instructions or orders of such parties shall be transmitted to the Contractor, through the Owner.

B.8 SEVERABILITY

If any provision of the Contract and or any given Supplement is declared by a court to be illegal or in conflict with any law, the validity of the remaining terms and provisions shall not be affected and the rights and obligations of the parties shall be construed and enforced as if the Contract Documents did not contain the particular provision held to be invalid.

B.9 ACCESS TO RECORDS

B.9.1 Contractor shall keep, at all times on the site, one record copy of the complete Contract Documents, in good order and marked currently to record field changes and selections made during construction, and one record copy of Shop Drawings, Product Data, Samples and similar submittals, and shall at all times give the Owner access thereto.

B.9.2 Contractor shall retain and the Owner and its duly authorized representatives shall have access, for a period not less than ten (10) years, to all Record Documents, financial and accounting records, and other books, documents, papers and records of Contractor which are pertinent to the Contract, including records pertaining to Overhead, and indirect costs, for the purpose of making audit, examination, excerpts and transcripts. If for any reason, any part of the Work Supplement shall be subject to litigation, Contractor shall retain all such records until all litigation is resolved and Contractor shall continue to provide Owner and/or its agents with full access to such records until such time as all litigation is complete and all periods for appeal have expired and full and final satisfaction of any judgment, order or decree is recorded and Owner receives a record copy of documentation from Contractor.

B.10 WAIVER

Failure of the Owner to enforce any provision of the Contract and or any given Supplement shall not constitute a waiver or relinquishment by the Owner of the right to such performance in the future nor of the right to enforce any other provision of the Contract and or any given Supplement.

B.11 SUBCONTRACTS AND ASSIGNMENT

B.11.1 Contractor shall require each Subcontractor, to the extent of the Scope to be performed by the Subcontractor, to be bound by the terms and conditions of these General Conditions, and to assume toward the Contractor all of the obligations and responsibilities which the Contractor assumes toward the Owner thereunder, unless (1) the same are clearly inapplicable to the subcontract at issue because of legal requirements or industry practices, or (2) specific exceptions are requested by Contractor and approved in writing by Owner. Where appropriate, Contractor shall require each Subcontractor to enter into similar agreements with sub-subcontractors at any tier.

B.11.2 At Owner's request, Contractor shall submit to Owner prior to their execution either Contractor's form of subcontract, or the subcontract to be executed with any particular Subcontractor. If Owner disapproves such form, Contractor shall not execute the form until the matters disapproved are resolved to Owner's satisfaction. Owner's review, comment upon or approval of any such form shall not relieve Contractor of its obligations under the Supplement or be deemed a waiver of such obligations of Contractor.

B.11.3 Contractor shall not assign, sell, or transfer its rights, or delegate its responsibilities under the Contract and or any given Supplement, in whole or in part, without the prior written approval of the Owner. No such written approval shall relieve Contractor of any obligations of the Contract and or any given Supplement, and any transferee shall be considered the agent of the Contractor and bound to perform in accordance with the Contract Documents. Contractor shall remain liable as between the original parties to the Contract and or any given Supplement as if no assignment had occurred.

B.12 SUCCESSORS IN INTEREST

The provisions of the Contract and any given Supplement shall be binding upon and shall accrue to the benefit of the Parties to the Contract and any given Supplement and their respective permitted successors and assigns.

B.13 OWNER'S RIGHT TO DO WORK

Owner reserves the right to perform other or additional work at or near the Project site with other forces than those of the Contractor. If such work takes place within or next to the Project site, Contractor shall coordinate work with the other contractors or forces, cooperate with all other contractors or forces, carry out the Scope in a way that will minimize interference and delay for all forces involved, place and dispose of materials being used so as not to interfere with the operations of another, and join the Work with the work of the others in an acceptable manner and perform it in proper sequence to that of the others. The Owner will resolve any disagreements that may arise between or among Contractor and the other contractors over the method or order of performing all work (including the Scope). In case of unavoidable interference, the Owner will establish work priority (including the Scope) which generally will be in the sequence that the contracts were awarded.

B.14 OTHER CONTRACTS

In all cases and at any time, the Owner has the right to execute other contracts related to or unrelated to the Scope of any given Supplement. The Contractor of the Supplement shall fully cooperate with any and all other contractors without additional cost to the Owner in the manner described in section B.13.

B.15 GOVERNING LAW

The Contract and any given Supplement shall be governed by and construed in accordance with the laws of the State of Oregon without regard to principles of conflict of laws.

B.16 LITIGATION

Any Claim between Owner and Contractor that arises from or relates to the Contract and or any given Supplement and that is not resolved through the Claims Review Process in Section D.3 shall be brought and conducted solely and exclusively within the Circuit Court of Benton County for the State of Oregon; provided, however, if a Claim must be brought in a federal forum, then it shall be brought and conducted solely and exclusively within the United States District Court for the District of Oregon. In no event shall this section be construed as a waiver by the State of Oregon on any form of defense or immunity, whether sovereign immunity, governmental immunity, immunity based on the Eleventh Amendment to the Constitution of the United States or otherwise, from any claim or from the jurisdiction of any court. CONTRACTOR, BY EXECUTION OF THIS CONTRACT, HEREBY CONSENTS TO THE IN PERSONAM JURISDICTION OF THE COURTS REFERENCED IN THIS SECTION B.16.

B.17 SUBMITTALS, SHOP DRAWINGS, PRODUCT DATA AND SAMPLES

B.17.1 The Contractor shall prepare and keep current, for the Design Professional's approval (or for the approval of Owner if approval authority has not been delegated to the Design Professional), a schedule and list of submittals which is coordinated with the Contractor's construction schedule and allows the Design Professional reasonable time to review submittals. Owner reserves the right to finally approve the schedule and list of submittals. Submittals include, without limitation, Shop drawings, product data, and samples which are described below:

- (a) Shop drawings are drawings, diagrams, schedules and other data specially prepared for the Scope by the Contractor or a Subcontractor (including any sub-subcontractor), manufacturer, supplier or distributor to illustrate some portion of the Scope.
- (b) Product data are illustrations, standard schedules, performance charts, instructions, brochures, diagrams and other information furnished by the Contractor to illustrate materials or equipment for some portion of the Scope.
- (c) Samples are physical examples which illustrate materials, equipment or workmanship and establish standards by which the Work will be judged.

B.17.2 Shop drawings, product data, samples and similar submittals are not Contract Documents. The purpose of which is to demonstrate for those portions of the Scope (for which submittals are required by the Contract Documents), the way by which the Contractor proposes to conform to the information given and the design concept expressed in the Contract Documents. Review of submittals by the Design Professional is not conducted for the purpose of determining the accuracy and completeness of other details such as dimensions and quantities, or for substantiating instructions for installation or performance of equipment or systems, or for approval of safety precautions or, unless otherwise specifically stated by the Design Professional, of any construction means, methods, techniques, sequences or procedures, all of which remain the responsibility of the Contractor as required by the Contract Documents. The Design Professional's review of the Contractor's Submittals shall not relieve the Contractor of its obligations under the Contract Documents. The Design Professional's approval of a specific item shall not indicate approval of an assembly of which the item is a component. Informational Submittals upon which the Design professional is not expected to take responsive action may be so identified in the Contract Documents. Submittals which are not required by the Contract Documents may be returned by the Design professional without action.

B.17.3 The Contractor shall review for compliance with the Contract Documents, approve and submit to the Design professional Shop Drawings, Product Data, Samples and similar Submittals required by the Contract Documents with reasonable promptness and in such sequence as to cause no delay in the Scope or in the activities of the Owner or of separate contractors. Submittals which are not marked as reviewed for compliance with the Contract Documents and approved by the Contractor may be returned by the Design professional without action.

B.17.4 Approving and submitting shop drawings, product data, samples and similar Submittals, the Contractor represents that the Contractor has determined and verified materials, field measurements and field construction criteria related thereto, or will do so, and has checked and coordinated the information contained within such Submittals with the requirements of the Scope and of the Contract Documents.

B.17.5 The Contractor shall perform no portion of the Scope for which the Contract Documents require submittal and review of Shop Drawings, Product Data, Samples or similar Submittals until the respective Submittal has been approved by the Design Professional.

B.17.6 The Work shall be in accordance with approved Submittals except that the Contractor shall not be relieved of responsibility for deviations from requirements of the Contract Documents by the Design Professional's review or approval of Shop Drawings, Product Data, Samples or similar Submittals unless the Contractor has specifically informed the Design professional in writing of such deviation at the time of submittal and (i) the Design professional has given written approval to the specific deviation as a minor change in the Scope, or (ii) a Construction Change Directive has been executed by Owner authorizing the deviation. The Contractor shall not be relieved of responsibility for errors or omissions in Shop Drawings, Product Data, Samples or similar Submittals by the Design professional's review or approval thereof.

B.17.7 In the event that Owner elects not to have the obligations and duties described under this Section B.17 performed by the Design professional, or in the event no Design Professional is employed by Owner on the project, all obligations and duties assigned to the Design Professional hereunder shall be performed by the Owner.

B.18 SUBSTITUTIONS

The Contractor may make Substitutions only with the written consent of the Owner, after evaluation by the Owner and only in accordance with a Construction Change Directive. Substitutions shall be subject to the requirements of the bid documents. By making requests for Substitutions, the Contractor: represents that the Contractor has personally investigated the proposed substitute product; represents that the Contractor shall provide the same warranty for the Substitution that the Contractor would for the product originally specified unless approved otherwise; certifies that the cost data presented is complete and includes all related costs under any given Supplement including redesign costs, and waives all claims for additional costs related to the Substitution which subsequently become apparent; and will coordinate the installation of the accepted Substitution, making such changes as may be required for the Scope to be completed in all respects.

B.19 USE OF PLANS AND SPECIFICATIONS

Plans, Specifications and related Contract Documents furnished to Contractor by Owner or Owner's Design Professional shall be used solely for the performance of the Work under any given Supplement. Contractor and its Subcontractors and suppliers are authorized to use and reproduce applicable portions of such documents appropriate to the

execution of the Scope but shall not claim any ownership or other interest in them beyond the scope of this Contract, and no such interest shall attach. Unless otherwise indicated, all common law, statutory and other reserved rights, in addition to copyrights, are retained by Owner.

B.20 FUNDS AVAILABLE AND AUTHORIZED

If Owner fails to receive funding, appropriations, allocations or other expenditure authority as contemplated by Owner's budget and Owner determines, in its assessment and ranking of the policy objectives explicit or implicit in Owner's budget, Owner may determine it is necessary to and may terminate the Reserve Contract and or any Supplements.

B.21 NO THIRD-PARTY BENEFICIARIES

Owner and Contractor are the only parties to this Contract and any given Supplement and are the only parties entitled to enforce its terms. Nothing in this Contract and or any given Supplement gives, is intended to give, or shall be construed to give or provide any benefit or right, whether directly, indirectly, or otherwise, to third persons unless such third persons are individually identified by name herein and expressly described as intended beneficiaries of the terms of this Contract and or any given Supplement.

B.22 OWNER PROJECT MANAGEMENT SOFTWARE

Owner may require Contractor to be an active participant in Owner's Project Management Software. Active participation may include but is not limited to data entry for request for information, potential change orders, and invoice entry.

**SECTION C
WAGES AND LABOR**

C.1 MINIMUM WAGE RATES ON PUBLIC WORKS

Contractor shall comply fully with the provisions of ORS 279C.800 through 279C.870. Documents establishing those conditions, as determined by the Commissioner of the Bureau of Labor and Industries (BOLI), are included as attachments to or are incorporated by reference in the Contract Documents. Pursuant to ORS 279C.830(1)(c), Contractor shall pay workers at not less than the specified minimum hourly rate of wage and shall include that requirement in all subcontracts. If the Work is subject to both the state prevailing wage rate law and the federal Davis-Bacon Act, Contractor shall pay the higher of the applicable state or federal prevailing rate of wage. Contractor shall provide written notice to all workers of the number of hours per day and days per week such workers may be required to work.

C.2 PAYROLL CERTIFICATION AND FEE REQUIREMENTS

C.2.1 In accordance with ORS 279C.845, the Contractor and every Subcontractor shall submit written certified statements to the Owner, on the form prescribed by the Commissioner of the Bureau of Labor and Industries, certifying the hourly rate of wage paid each worker which the Contractor or the Subcontractor has employed on the project and further certifying that no worker employed on the project has been paid less than the prevailing rate of wage or less than the minimum hourly rate of wage specified in the Contract, which certificate and statement shall be verified by the oath of the Contractor or the Subcontractor that the Contractor or Subcontractor has read the certified statement, that the Contractor or Subcontractor knows the contents of the certified statement, and, that to the Contractor's or Subcontractor's best knowledge and belief, the certified statement is true. The certified statements shall set out accurately and completely the payroll records for the prior week, including the name and address of each worker, the worker's correct classification, rate of pay, daily and weekly number of hours worked, deductions made, and actual wages paid. Certified statements for each week during which the Contractor or Subcontractor has employed a worker on the project shall be submitted once a month, by the fifth business day of the following month. The Contractor and Subcontractors shall preserve the certified statements for a period of ten (10) years from the date of completion of the Scope of any given Supplement.

C.2.2 Pursuant to ORS 279C.845 (7), the Owner shall retain 25 percent of any amount earned by the Contractor on this public works project until the Contractor has filed the certified statements required by section C.2.1. The Owner shall pay to the Contractor the amount retained under this subsection within 14 days after the Contractor files the required certified statements, regardless of whether a Subcontractor has failed to file certified statements.

C.2.3 Pursuant to ORS 279C.845(8), the Contractor shall retain 25 percent of any amount earned by a first-tier Subcontractor on this public works project until the first-tier Subcontractor has filed with the Owner the certified statements required by C.2.1. Before paying any amount retained under this subsection, the Contractor shall verify that the first-tier Subcontractor has filed the certified statement. Within 14 days after the first-tier Subcontractor files the required certified statement the Contractor shall pay the first-tier Subcontractor any amount retained under this subsection.

C.2.4 In accordance with statutory requirements and administrative rules promulgated by the Commissioner of the Bureau of Labor and Industries, the fee required by ORS 279C.825(1) will be paid by Owner to the Commissioner.

C.3 PROMPT PAYMENT AND SUPPLEMENT CONDITIONS

C.3.1 As a condition to Owner's performance hereunder, the Contractor shall:

- (a) Make payment promptly, as due, to all persons supplying to Contractor labor or materials for the prosecution of the Work provided for in any given Supplement.
- (b) Pay all contributions or amounts due to the State Industrial Accident Fund from such Contractor or Subcontractor incurred in the performance of any given Supplement.
- (c) Not permit any lien or claim to be filed or prosecuted against the Owner on account of any labor or material furnished. Contractor will not assign any Claims that Contractor has against Owner, or assign any sums due by Owner, to Subcontractors, suppliers, or manufacturers, and will not make any agreement or act in any way to give Subcontractors a Claim or standing to make a Claim against the Owner.
- (d) Pay to the Department of Revenue all sums withheld from employees pursuant to ORS 316.167.

C.3.2 As a condition to Owner's performance hereunder, if Contractor fails, neglects or refuses to make prompt payment of any claim for labor or services furnished to the Contractor of a Subcontractor by any person in connection with the Project as such claim becomes due, the proper officer(s) representing the Owner may pay the claim and charge the amount of the payment against funds due or to become due Contractor under any given Supplement. Payment of claims in this manner shall not relieve the Contractor or the Contractor's surety from obligation with respect to any unpaid claims.

C.3.3 Contractor shall include in each subcontract for property or services entered into by the Contractor and a first-tier subcontractor, including a material supplier, for the purpose of performing a construction contract, a payment clause that obligates the Contractor to pay the first-tier Subcontractor for satisfactory performance under its subcontract within ten (10) Days out of such amounts as are paid to the Contractor by the public contracting agency under such contract.

C.3.4 All employers, including Contractor, that employ subject workers who work under any given Supplement in the State of Oregon shall comply with ORS 656.017 and provide the required Workers' Compensation coverage, unless such employers are exempt under ORS 656.126. Contractor shall ensure that each of its Subcontractors complies with these requirements.

C.4 PAYMENT FOR MEDICAL CARE

As a condition to Owner's performance hereunder, Contractor shall promptly, as due, make payment to any person, partnership, association or corporation furnishing medical, surgical, and hospital care or other needed care and attention, incident to sickness or injury, to the employees of such Contractor, all sums of which the Contractor agrees to pay for such services and all moneys and sums which the Contractor has collected or deducted from the wages of personnel pursuant to any law, contract or agreement for the purpose of providing or paying for such services.

C.5 HOURS OF LABOR

C.5.1 As a condition to Owner's performance hereunder, no person shall be employed to perform Work under any given Supplement for more than ten (10) hours in any one day or forty (40) hours in any one week, except in cases of necessity, emergency or where public policy absolutely requires it. In such instances, Contractor shall pay the employee at least time and a half pay:

- (a) For all overtime in excess of eight (8) hours a day or forty (40) hours in any one week when the work week is five consecutive Days, Monday through Friday; or

(b) For all overtime in excess of ten (10) hours a day or forty (40) hours in any one week when the work week is four consecutive Days, Monday through Friday; and

(c) For all Work performed on Saturday and on any legal holiday specified in ORS 279C.540.

C.5.2 This section C.5 will not apply to Contractor's Scope under any given Supplement to the extent Contractor is currently a party to a collective bargaining agreement with any labor organization.

C.5.3 This Section C.5 shall not excuse Contractor from completion of the Scope within the time required under any given Supplement.

**SECTION D
CHANGES IN THE SCOPE**

D.1 CHANGES IN SCOPE

D.1.1 The terms of the Contract and or any given Supplement shall not be waived, altered, modified, supplemented or amended in any manner whatsoever, without prior written agreement by the Parties and then only after any necessary approvals have been obtained. A Supplement, Amendment, Construction Change Directive and or Change Order is required, which shall not be effective until its execution by the Parties to the Contract and or any given Supplement and any required approvals.

D.1.2 It is mutually agreed that changes in Plans, quantities, or details of construction are inherent in the nature of construction and may be necessary or desirable during the course of construction. Within the general scope of any given Supplement, the Owner may, at any time, without notice to the sureties and without impairing the Supplement, require changes consistent with this Section D.1. All changes to Scope shall be documented and a Change Order or a Construction Change Directive shall be executed under the conditions of the Contract Documents. Such changes may include, but are not limited to:

- (a) Modification of specifications and design.
- (b) Increases or decreases in quantities.
- (c) Increases or decreases to the amount of Scope.
- (d) Addition or elimination of any Scope item.
- (e) Change in the duration of the project.
- (f) Acceleration or delay in performance of Scope.
- (g) Deductive changes.
- (h) Changed conditions.

Deductive changes are those that reduce the Scope and shall be made by mutual agreement whenever feasible. In cases of suspension or partial termination under Section J, Owner reserves the right to unilaterally impose a deductive change and to self-perform such Work, for which the provisions of B.13 (Owner's Right to Do Work) shall then apply. Adjustments in compensation shall be made under the provisions of D.1.3, in which costs for deductive changes shall be based upon a Direct Costs adjustment together with the related percentage markup specified for profit, Overhead and other indirect costs, unless otherwise agreed to by Owner.

D.1.3 The Owner and Contractor agree that adjustments to or deletions from the Scope shall be administered and compensated according to the following:

(a) Unit pricing may be utilized at the Owner’s option when unit prices or solicitation alternates were provided that established the cost for adjustments to Scope, and a binding obligation exists under the Supplement on the Parties covering the terms and conditions of the adjustment to Scope.

(b) The Owner may choose (in their sole discretion) a fixed pricing model for adjustments to or deletions from the Scope. In fixed pricing, the basis of payments or total price for Direct Costs shall be agreed upon in writing between the Parties to the Supplement and shall be established before the additional Work commencing whenever feasible. Notwithstanding the foregoing, the mark-ups set forth in D.1.3(c) shall be utilized in establishing fixed pricing, and such mark-ups shall not be exceeded. Cost and price data relating to adjustments to or deletions from the Scope shall be supplied by Contractor to Owner upon request, but Owner shall be under no obligation to make such requests.

(c) The Owner may choose (in their sole discretion) a cost reimbursement basis for Direct Costs model for adjustments to or deletions from the Scope. Such Work shall be compensated on the basis of the actual, reasonable and allowable cost of labor, equipment, and material furnished in the additional Scope performed or Scope removed. In addition, the following markups shall be added to the Contractor's or Subcontractor's Direct Costs as full compensation for profit, Overhead and other indirect costs for the additional Scope directly performed with the Contractor’s or Subcontractor’s own forces:

On Labor.....	15%
On Equipment.....	10%
On Materials.....	10%

(d) When adjustments to or deletions from the Scope under D.1.3(c) are proposed by an authorized Subcontractor at any level, each ascending tier Subcontractor or Contractor will be allowed mark-up on each piece of subcontracted Scope of 7.5%.

The Contractor agrees that absent proper justification for extensions of Supplement Time properly issued under the provisions of these General Conditions, the Contractor shall not be entitled to additional Supplement Time to complete the Work. The Contractor understands that it may be required to, at its sole expense, employ extraordinary means, including overtime and second shift, to complete the Work according to the Contract Documents. All costs associated with such extraordinary means are the Contractor’s responsibility unless approved in writing by the Owner.

Notwithstanding the former, any necessary adjustment of Supplement Time that may be required as a result of adjustments to or deletions from the Scope must be agreed upon by the Parties before the start of the revised Scope unless Owner authorizes Contractor to start the revised Scope before agreement on Supplement Time adjustment. Contractor shall submit any request for additional compensation (and additional Supplement Time if Contractor was authorized to start Scope before an adjustment of Supplement Time was approved) as soon as possible but no later than thirty (30) Days after receipt of Owner’s request for additional Scope. Contractor agrees that this thirty (30) Day notice period is adequate time for it to request and document the amount of additional compensation or adjustment of Supplement Time. If Contractor’s request for additional compensation or adjustment of Supplement Time is not made within the thirty (30) Day time limit, Contractor agrees its requests pertaining to that additional Scope shall be barred. The thirty (30) Day time limit for making requests shall not be extended for any reason, including without limitation Contractor’s claimed inability to determine the amount of additional compensation or adjustment of Supplement Time, unless an extension is granted in writing by Owner prior to the end of the thirty (30) Day time limit. If the Owner denies Contractor’s timely request for additional compensation or adjustment of Supplement Time, Contractor may proceed to file a Claim under Section D.3, Claims Review Process. No other reimbursement, compensation, or payment will be made, except as provided in Section D.1.5 for impact claims.

The Change Order must include all allowable changes to Supplement Price and Supplement Time. The Contractor must determine full impact of the change on the Project Schedule. If the Supplement Time is not revised in the Change Order, and notwithstanding the above, additional Supplement Time will be allowed, and no additional cost will be added to maintain the Project Schedule, after the Change Order is executed. As such, payments made to the Contractor shall be complete compensation for Overhead, profit, and all costs that were incurred by the Contractor or by other forces furnished by the Contractor, including Subcontractors, for adjustments to or deletions from the Scope pursuant to a Construction Change Directive or Change Order. Cost allocation per asset must be reflected in all Construction Change Directives or Change Orders. Owner may establish a maximum cost for additional Scope under this Section D.1.3, which shall not be exceeded for reimbursement without additional written authorization from Owner in the form of a Construction Change

Directive or Change Order. Contractor shall not be required to complete such additional Scope without additional authorization.

D.1.4 If any adjustment to Scope under Section D.1.3 causes an increase or decrease in the Contractor's cost of, or the Supplement Time required for the performance of any other part of the Work under this Contract, Contractor shall submit a written request to the Owner, setting forth the nature and specific extent of the request, including all time and cost impacts against the Supplement as soon as possible, but no later than thirty (30) Days after receipt of Owner's request for adjustments to or deletions from the Scope by Contractor.

The thirty (30) Day time limit applies to claims of Subcontractors, suppliers, or manufacturers who may be affected by Owner's request for adjustments to or deletions from the Scope and who request additional compensation or an extension of Supplement Time to perform; Contractor has responsibility for contacting its Subcontractors, suppliers, or manufacturers within the thirty (30) Day time limit, and including their requests with Contractor's requests. If the request involves Scope to be completed by Subcontractors, or materials to be furnished by suppliers or manufacturers, such requests shall be submitted to the Contractor in writing with full analysis and justification for the adjustments to compensation and Supplement Time requested. The Contractor shall analyze and evaluate the merits of the requests submitted by Subcontractors, suppliers, and manufacturers to Contractor prior to including those requests and Contractor's analysis and evaluation of those requests with Contractor's requests for adjustments to compensation or Supplement Time that Contractor submits to the Owner. Failure of Subcontractors, suppliers, manufacturers or others to submit their requests to Contractor for inclusion with Contractor's requests submitted to Owner within the time period and by the means described in this section shall constitute a waiver of these Subcontractor claims. The Owner will not consider direct requests or claims from Subcontractors, suppliers, manufacturers or others not a party to this Supplement. The consideration of such requests and claims under this section does not give any Entity, not a party to the Supplement, the right to bring a claim against Owner, whether in this claims process, in litigation, or in any dispute resolution process.

If the Owner denies the Contractor's request for adjustment to compensation or Supplement Time, and the request is timely as set forth herein, the Contractor may proceed to file a Claim under Section D.3, Claims Review Process.

D.1.5 Contractor agrees that no request or Claim for additional costs or an adjustment of Supplement Time shall be allowed if made after receipt of Final Payment application under this Supplement. Final Payment application must be made by Contractor within the time required under Section E.6.4.

D.1.6 It is understood that changes in the Work are inherent in construction of this type. The number of changes, the scope of those changes, and the effect they have on the progress of the original Scope cannot be defined at this time. The Contractor is notified that numerous changes may be required and that there will be no compensation made, unless and only to the extent otherwise provided in the Contract Documents, to the Contractor directly related to the number of changes. Each change will be evaluated for extension of Supplement Time and increase or decrease in compensation based on its own merit.

D.2 DELAYS

D.2.1 Delays in construction include "Avoidable Delays", which are defined in Section D.2.1.(a), and "Unavoidable Delays", which are defined in Section D.2.1.(b). The effect of Avoidable Delays is described in Section D.2.2 and the effect of Unavoidable Delays is described in Section D.2.3.

- (a) Avoidable Delays include any delays other than Unavoidable Delays, and include delays that otherwise would be considered Unavoidable Delays but that:
 - (i) Could have been avoided by the exercise of care, prudence, foresight, and diligence on the part of the Contractor or its Subcontractors.
 - (ii) Affect only a portion of the Scope and do not necessarily prevent or delay the prosecution of other parts of the Scope or the completion of the whole Scope within the Supplement Time.
 - (iii) Do not impact activities on the accepted Construction Schedule.
 - (iv) Are associated with the reasonable interference of other contractors employed by the Owner that do not necessarily prevent the completion of the whole Scope within the Supplement Time.
- (b) Unavoidable Delays include delays other than Avoidable Delays that are:

- (i) To the extent caused by any actions of the Owner, or any other employee or agent of the Owner, or by separate contractor employed by the Owner.
- (ii) To the extent caused by any site conditions that differ materially from what was represented in the Contract Documents or from conditions that would normally be expected to exist and be inherent to the construction activities defined in the Contract Documents. The Contractor agrees to notify the Owner immediately of differing site conditions before the area has been disturbed. The Owner will investigate the area and make a determination as to whether the conditions differ materially from either the conditions stated in the Contract Documents or those that could reasonably be expected in execution of this particular Supplement. If Contractor and Owner agree that a differing site condition exists, any adjustment to compensation or Supplement Time will be determined based on the process set forth in Section D.1.3 for adjustments to or deletions from Scope. If the Owner disagrees that a differing site condition exists and denies Contractor's request for additional compensation or Supplement Time, Contractor may proceed to file a Claim under Section D.3, Claims Review Process.
- (iii) To the extent caused by Force Majeure acts, events or occurrences that could not have been avoided by the exercise of care, prudence, foresight, and diligence on the part of the Contractor or its Subcontractors.
- (iv) To the extent caused by adverse weather conditions. Any adverse weather conditions must be substantiated by documentary evidence that weather conditions were abnormal for the specific time period claimed, could not have been anticipated by the Contractor, and adversely impacted the Project in a manner that could not be avoided by rescheduling the Work or by implementing measures to protect against the weather so that the Work could proceed. A rain, windstorm, high water, or other natural phenomenon for the specific locality of the Work, which might reasonably have been anticipated from the previous 10-year historical records of the general locality of the Work, shall not be construed as abnormal. The parties agree that rainfall greater than the following levels cannot be reasonably anticipated:
 - A. Daily rainfall equal to, or greater than, 0.50 inch during a month when the monthly rainfall exceeds the normal monthly average by twenty-five percent (25 %) or more.
 - B. daily rainfall equal to, or greater than, 0.75 inch at any time.

The Office of the Environmental Data Service of the National Oceanic and Atmospheric Administration of the U.S. Department of Commerce nearest the Project site shall be considered the official agency of record for weather information.

D.2.2 Contractor agrees it is not entitled to additional compensation or additional Supplement Time for Avoidable Delays.

D.2.3 In the event of Unavoidable Delays, based on principles of equitable adjustment, Contractor may be entitled to the following:

- (a) Additional compensation or additional Supplement Time, or both, for Unavoidable Delays described in Section D.2.1.2 (a) and (b) and or;
- (b) Additional Supplement Time for Unavoidable Delays described in Section D.2.1.2(c) and (d).

In the event of any requests for additional compensation or additional Supplement Time, or both, as applicable, arising under this Section D.2.3 for Unavoidable Delays, other than requests for additional compensation or additional Supplement Time for differing site conditions for which a review process is established under Section D.2.1.2 (b), Contractor must submit a written notification of the delay to the Owner no more than five (5) Days of the onset of the cause of the delay. This written notification shall state the cause of the potential delay, the project components impacted by the delay, and the anticipated additional Supplement Time extension or the additional compensation, or both, as applicable, resulting from the delay. Within seven (7) Days after the cause of the delay has been mitigated, or in no case more than thirty (30) Days after the initial written notification, the Contractor agrees to submit to the Owner, a complete and detailed request for additional compensation or additional Supplement Time, or both, as applicable, resulting from the delay. If the Owner denies Contractor's request for additional compensation or adjustment of Supplement Time, the Contractor may proceed to file a Claim under Section D.3, Claims Review Process, provided Contractor has complied with the requirement

in this Section D.2.3. Contractor agrees any Claim it may have is barred if Contractor does not comply with the requirements herein.

If Contractor does not timely submit the notices required under this Section D.2, then unless otherwise prohibited by law, Contractor's Claim shall be barred.

D.3 CLAIMS REVIEW PROCESS

D.3.1 All Contractor Claims shall be referred to the Owner for review. Contractor's Claims, including Claims for adjustments to compensation or Supplement Time, shall be submitted in writing by Contractor to the Owner within seven (7) Days after a denial of Contractor's initial request for an adjustment of Supplement terms, payment of money, extension of Supplement Time or other relief, provided that such initial request has been submitted in accordance with the requirements and within the time limits established in these General Conditions. Within thirty (30) Days after the initial Claim, Contractor shall submit to the Owner a complete and detailed description of the Claim (the "Detailed Notice") that includes all information required by Section D.3.2. Contractor agrees that, unless the Claim is made in accordance with these time requirements, Contractor voluntarily waived all rights to prosecute its Claim.

D.3.2 The Detailed Notice of the Claim shall be submitted in writing by Contractor and shall include a detailed, factual statement of the basis of the Claim, pertinent dates, Contract and or Supplement provisions which support or allow the Claim, reference to or copies of any documents which support the Claim, the dollar value of the Claim, and the Supplement Time adjustment requested for the Claim. If the Claim involves Scope to be completed by Subcontractors, the Contractor will analyze and evaluate the merits of the Subcontractor claim prior to forwarding it and that analysis and evaluation to the Owner. The Owner will not consider direct claims from Subcontractors, suppliers, manufacturers, or others not a party to the Contract and or any given Supplement. Contractor agrees that it will make no agreement, covenant, or assignment, nor will it commit any other act that will permit or assist any Subcontractor, supplier, manufacturer, or other to directly or indirectly make a claim against Owner.

D.3.3 The Owner will review all Claims and take one or more of the following preliminary actions within ten (10) Days of receipt of the Detailed Notice of a Claim: (1) request additional supporting information from the Contractor; (2) inform the Contractor in writing of the time required for adequate review and response; (3) reject the Claim in whole or in part and identify the reasons for rejection; (4) based on principles of equitable adjustment, recommend approval of all or part of the Claim; or (5) propose an alternate resolution.

D.3.4 The Owner's decision shall be final and binding on the Contractor unless appealed by written notice to the Owner within fifteen (15) Days of receipt of the decision. The Contractor must present written documentation supporting the Claim within fifteen (15) Days of the notice of appeal. After receiving the appeal documentation, the Owner shall review the materials and render a decision within thirty (30) Days after receiving the appeal documents.

D.3.5 The decision of the Owner shall be final and binding unless the Contractor delivers to the Owner its request for mediation, which shall be a non-binding process, within fifteen (15) Days of the date of the Owner's decision. The mediation process will be considered to have commenced as of the date the Contractor delivers the request. Both Parties acknowledge and agree that participation in mediation is a prerequisite to commencement of litigation of any disputes relating to any given Supplement. Both Parties further agree to exercise their best efforts in good faith to resolve all disputes within sixty (60) Days of the commencement of the mediation through the mediation process set forth herein.

In the event that a lawsuit must be filed within this sixty (60) Day period in order to preserve a cause of action, the Parties agree that, notwithstanding the filing, they shall proceed diligently with the mediation to its conclusion prior to actively prosecuting the lawsuit, and shall seek from the Court in which the lawsuit is pending such stays or extensions, including the filing of an answer, as may be necessary to facilitate the mediation process. Further, in the event settlements are reached on any issues through mediation, the plaintiff shall promptly cause to be entered by the Court a stipulated general judgment of dismissal with prejudice, or other appropriate order limiting the scope of litigation as provided in the settlement.

D.3.6 Should the Parties arrive at an impasse regarding any Claims or disputed Claims, it is agreed that the Parties shall participate in mediation as specified in Section D.3.5. The mediation process will be considered to have been commenced as of the date one Party delivers to the other its request in writing to mediate. The mediator shall be an individual mutually acceptable to both Parties, but in the absence of agreement each Party shall select a temporary mediator and the temporary mediators shall jointly select the permanent mediator. Each Party shall pay its own costs for the time and effort involved in

mediation. The cost of the mediator shall be split equally between the two Parties. Both Parties agree to exercise their best effort in good faith to resolve all disputes in mediation. Participation in mediation is a mandatory requirement of both the Owner and the Contractor. The schedule, time and place for mediation will be mutually acceptable, or, failing mutual agreement, shall be as established by the mediator. The Parties agree to comply with Owner's administrative rules governing the confidentiality of mediation, if any, and shall execute all necessary documents to give effect to such confidentiality rules. In any event, the Parties shall not subpoena the mediator or otherwise require the mediator to produce records, notes or work product, or to testify in any future proceedings as to information disclosed or representations made in the course of mediation, except to the extent disclosure is required by law.

D.3.7 Unless otherwise directed by Owner, Contractor shall proceed with the Scope while any Claim, or mediation or litigation arising from a Claim, is pending. Regardless of the review period or the final decision of the Owner, the Contractor shall continue to diligently pursue the Scope as identified in the Contract Documents. In no case is the Contractor justified or allowed to cease or Delay performance of the Scope, in whole or in part, without a written stop work order from the Owner.

SECTION E PAYMENTS

E.1 SCHEDULE OF VALUES

The Contractor shall submit, at least ten (10) Days prior to submission of its first application for progress payment, a schedule of values ("Schedule of Values") for the contracted Scope. This schedule shall provide a breakdown of values for the contracted Scope. The breakdown shall demonstrate reasonable, identifiable, and measurable components of the Work of the particular Scope and be allocated by asset, if applicable. Owner will provide asset list in the Solicitation Documents. If no solicitation was performed, the Owner will provide the asset list upon Supplement execution. Unless objected to by the Owner, this schedule shall be used as the basis for reviewing Contractor's applications for payment. If objected to by Owner, Contractor shall revise the Schedule of Values and resubmit the same for approval of Owner.

E.2 APPLICATIONS FOR PAYMENT

E.2.1 Owner shall make progress payments on any given Supplement monthly as Work progresses, in accordance with the requirements of this Section E.2. Applications for payment shall be based upon estimates of Scope completed, the Schedule of Values, and allocated by asset. As a condition precedent to Owner's obligation to pay, all applications for payment shall be approved by the Owner. A progress payment shall not be considered acceptance or approval of any Scope or waiver of any defects therein. Owner shall pay to Contractor interest for overdue invoices at the rate of two-thirds of one percent per month on the progress payment, not including retainage, due the Contractor. Overdue invoices will be those that have not been paid within forty-five (45) days from the latest of:

- (a) The date of the receipt of the accurate invoice;
- (b) The date Owner receives a correct application for payment if no invoice is received;
- (c) The date all goods and services have been received; or
- (d) The date a Claim is made certain by agreement of the Parties or by operation of law.

Notwithstanding the foregoing, in instances when an application for payment is filled out incorrectly, or when there is any defect or impropriety in any submitted application or when there is a good faith dispute, Owner may reject the pay application in full by notifying the Contractor within fifteen (15) Days stating the reason or reasons the application for payment is defective or improper or the reasons for the dispute. Payment of interest will be postponed when payment on the principal is delayed because of disagreement between the Owner and the Contractor.

Owner reserves the right, instead of requiring the Contractor to correct or resubmit a defective or improper application for payment, to reject the defective or improper portion of the application for payment and pay the remainder of the application for such amounts which are correct and proper.

Owner, upon written notice to the Contractor, may elect to make payments to the Contractor only by means of Electronic Funds Transfers (EFT) through Automated Clearing House (ACH) payments. If Owner makes this election, the Contractor shall arrange for receipt of the EFT/ACH payments.

E.2.2 Contractor shall submit to the Owner an application for each payment and, if required, receipts or other vouchers showing payments for materials and labor including payments to Subcontractors. Contractor shall include in its application for payment a schedule of the percentages of the various parts of the Scope completed, based on the Schedule of Values which shall aggregate to the payment application total, and shall include, on the face of each copy thereof, a certificate in substantially the following form:

"I, the undersigned, hereby certify that the above bill is true and correct, and the payment, therefore, has not been received.

Signed: _____
Dated: _____”

E.2.3 Generally, applications for payment will be accepted only for materials that have been installed. Under special conditions, applications for payment for stored materials will be accepted at Owner's sole discretion. Such a payment, if made, will be subject to the following conditions:

- (a) The request for stored material shall be submitted at least thirty (30) Days in advance of the application for payment on which it appears. Applications for payment shall be entertained for major equipment, components or expenditures only.
- (b) The Contractor shall submit applications for payment showing the quantity and cost of the material stored.
- (c) The material shall be stored in a bonded warehouse and Owner shall be granted the right to access the material for the purpose of removal or inspection at any time during the Supplement Period.
- (d) The Contractor shall name the Owner as co-insured on the insurance policy covering the full value of the property while in the care and custody of the Contractor until it is installed. A certificate noting this coverage will be issued to the Owner, upon Owner’s request.
- (e) Payments shall be made for materials and equipment only. The submitted amount in the application for payment shall be reduced by the cost of transportation from the storage site to the project site and for the cost of an inspector to verify delivery and condition of the goods at the storage site. The cost of storage and inspection shall be borne solely by the Contractor.
- (f) Within sixty (60) Days of the application for payment, the Contractor shall submit evidence of payment covering the material and/or equipment stored and of payment for the storage site.
- (g) Payment for stored materials and/or equipment shall in no way indicate acceptance of the materials and/or equipment or waive any rights under this Supplement for the rejection of the Work or materials and/or equipment not in conformance with the Contract Documents.
- (h) All required documentation shall be submitted with the respective application for payment.

E.2.4 The Owner reserves the right to withhold all or part of a payment, or may nullify in whole or part any payment previously made, to such extent as may be necessary in the Owner’s opinion to protect the Owner from loss because of:

- (a) Work that is defective and not remedied, or that has been demonstrated or identified as failing to conform with Applicable Laws or the Contract Documents,
- (b) Third party claims filed or evidence reasonably indicating that such claims will likely be filed unless security acceptable to the Owner is provided by the Contractor;

- (c) Failure of the Contractor to make payments properly to Subcontractors or for labor, materials or equipment (in which case Owner may issue checks made payable jointly to Contractor and such unpaid persons under this provision, or directly to Subcontractors and suppliers at any level under Section C.3.2.);
- (d) Reasonable evidence that the Scope cannot be completed for the unpaid balance of the Supplement Price;
- (e) Damage to the Work, Owner or another contractor;
- (f) Reasonable evidence that the Scope will not be completed within the Supplement Time required by the Contract, and that the unpaid balance would not be adequate to cover actual damages for the anticipated delay;
- (g) Failure to carry out the Work in accordance with the Contract Documents.

E.2.5 Subject to the provisions of the Contract Documents, the amount of each progress payment shall be computed as follows:

- (a) Take that portion of the Supplement Price properly allocable to completed Scope as determined by multiplying the percentage completion of each portion of the Scope by the share of the total Supplement Price allocated to that portion of the Scope in the Schedule of Values, less retainage as provided in Section E.5. Pending final determination of cost to the Owner of changes in the Scope, no amounts for changes in the Scope can be included in applications for payment until the Supplement Price has been adjusted by a Construction Change Directive and or Change Order;
- (b) Add that portion of the Supplement Price properly allocable to materials and equipment delivered and suitably stored at the site for subsequent incorporation in the completed construction (or, if approved in advance by the Owner pursuant to Section E.2.3, suitably stored off the site at a location agreed upon in writing), less retainage as provided in Section E.5;
- (c) Subtract the aggregate of previous payments made by the Owner; and
- (d) Subtract any amounts for which the Owner has withheld or nullified payment as provided in the Contract Documents.

E.2.6 Contractor's applications for payment shall not include requests for payment for portions of the Scope for which the Contractor does not intend to pay to a Subcontractor or material supplier.

E.2.7 The Contractor warrants to Owner that title to all Scope covered by an application for payment will pass to the Owner no later than the time of payment. The Contractor further warrants that upon submittal of an application for payment all Scope for which payments are received from the Owner shall be free and clear of liens, claims, security interests or encumbrances in favor of the Contractor, Subcontractors, material suppliers, or other persons or entities making a claim by reason of having provided financing, labor, materials and equipment relating to the Scope.

E.2.8 If Contractor disputes any determination by Owner with regard to any application for payment, Contractor nevertheless shall continue to expeditiously perform the Scope. No payment made hereunder shall be or be construed to be final acceptance or approval of that portion of the Scope to which such partial payment relates or shall relieve Contractor of any of its obligations hereunder.

E.2.9 The Contractor has no right to stop Work as a consequence of non-payment. In the event of any disagreement between the Contractor and Owner involving the Contractor's entitlement to payment, the Contractor's only remedy is to file a Claim in accordance with Section D.3. The Contractor must diligently proceed with the Work pending resolution of the Claim. If, however, an Application for Payment has been approved for payment by the Owner, and the Owner fails to make payment within sixty (60) Days of the approval for payment by the Owner, the Contractor may upon ten (10) Days written notice to the Owner, stop work if payment is not made by the Owner within ten (10) Days following the notice.

E.3 PAYROLL CERTIFICATION REQUIREMENT

Owner's receipt of payroll certification pursuant to Section C.2 of any given Supplement shall be a condition precedent to Owner's obligation to pay any progress payments or final payment otherwise due.

E.4 DUAL PAYMENT SOURCES

Contractor shall not be compensated for Work performed under any given Supplement from any agency other than the agency that is a party to any given Supplement.

E.5 RETAINAGE

E.5.1 Retainage shall be withheld and released in accordance with the requirements of law and as set forth in OSU standards and policies, as set forth below.

E.5.2 Owner may reserve as retainage from any progress payment an amount not to exceed five percent of the payment. As performance of the Scope progresses, Owner may reduce the amount of retainage on or may eliminate retainage on any remaining monthly pay applications after 50 percent of the Scope under any given Supplement is completed if, in the Owner's discretion, such Scope is progressing satisfactorily. Elimination or reduction of retainage shall be allowed only at Owner's sole discretion and only upon written application by the Contractor, such application shall include written approval of Contractor's surety; except that when the Scope is 97-1/2 percent complete the Owner may, at its discretion and without application by the Contractor, reduce the retained amount to 100 percent of the value of the Scope remaining to be performed. Upon receipt of written application by the Contractor, Owner shall respond in writing within a reasonable time.

E.5.3 Consistent with Chapter 2 Oregon Laws (2024), Contractor may request in writing:

- (a) To be paid all or a portion of the funds which have been or otherwise would have been retained from progress payments where Contractor has
 - (i) deposited acceptable bonds and securities with Owner or in a custodial account or other mutually agreed account satisfactory to Owner, with an approved bank or financial institution to be held in lieu of the cash retainage for the benefit of Owner; or
 - (ii) deposited a surety bond for the benefit of the Owner, in a form and manner set out in ORS 701.435; or
- (b) That retainage, as it accumulates
 - (i) be deposited in an interest-bearing account in a bank, or other financial institution for the benefit of Owner, with earnings from such account accruing to the Contractor; or
 - (ii) bear interest at the rate of two percent plus the discount rate on 90-day commercial paper that is in effect at the Federal Reserve Bank in the Federal Reserve district that includes this state on the date that the retainage is paid.

When the Contractor has elected option (a)(i), (ii) or (b), Owner may recover from Contractor any additional costs incurred through such election by reducing Contractor's final payment. Where the Owner has agreed to Contractor's request for option (a)(ii), Contractor shall accept like bonds from Subcontractors and suppliers on the project from which Contractor has required retainages. Any deposited bonds and securities, any surety bonds, and any proceeds therefrom must be subject to all claims in the manner and priority as set forth for retainage.

E.5.4 The retainage held by Owner, if any, shall be included in and paid to the Contractor as part of the Final Payment of the Supplement Price.

E.5.5 Owner shall, within thirty (30) Days after receiving either acceptable bonds and securities or a security bond under Section E.5.1.3, reduce the moneys the Owner holds as retainage in an amount equal to the value of the bonds and securities or surety bond and pay the amount of the reduction to the Contractor.

E.5.6 Contractor agrees that if Contractor elects to reserve a retainage from any progress payment due to any Subcontractor or supplier, such retainage shall not exceed five percent of the payment, and such retainage withheld from Subcontractors and suppliers shall be subject to the provisions of Chapter 2 Oregon Laws (2024).

E.6 FINAL PAYMENT

E.6.1 Upon completion of all the Work under any given Supplement (including without limitation compliance by the Contractor with provisions in Section K, and Contractor's satisfaction of other provisions of the Contract Documents as may be applicable), the Contractor shall notify the Owner, in writing, that Contractor has completed Contractor's

obligations under any given Supplement and shall prepare and deliver to Owner its application requesting final payment, and Owner shall, within fifteen (15) Days after receiving the written notice and application for payment, either accept the Scope or notify the Contractor of Scope yet to be performed on the Supplement. If Owner does not within the time allowed, notify the Contractor of Scope yet to be performed to fulfill the contractual obligations, the interest due on the final payment, at the rate of one percent per month, shall commence to run thirty (30) Days after the end of the 15-Day period. Such interest that may be due is to run until the date when final payment is tendered to Contractor. Upon approval of this final application for payment by the Owner, the Owner shall pay to the Contractor all monies due under the provisions of these Contract Documents.

E.6.2 Neither Final Payment nor any remaining retained percentage shall become due until the Contractor submits to the Owner data establishing payment or satisfaction of obligations, such as receipts, releases and waivers of liens, claims, security interests or encumbrances arising out of the Contract, to the extent and in such form as may be designated by the Owner. If a Subcontractor refuses to furnish a release or waiver required by the Owner, the Contractor may furnish a bond satisfactory to the Owner to indemnify the Owner against such lien. If such lien remains unsatisfied after payments are made, the Contractor shall refund to the Owner all money that the Owner may be compelled to pay in discharging such lien, including all costs and reasonable attorneys' fees.

E.6.3 Acceptance of Final Payment by the Contractor, a Subcontractor or material supplier shall constitute a waiver of claims by that payee except those previously made in writing and identified by that payee as unsettled at the time of final application for payment.

E.6.4 Contractor agrees to submit its final payment application within ninety (90) Days after Final Completion issued by the Owner, unless written extension is granted by Owner. Contractor shall not delay Final Payment application for any reason, including without limitation nonpayment of Subcontractors, suppliers, manufacturers or others not a party to this Contract, or lack of resolution of a dispute with Owner or any other Entity of matters arising out of or relating to any given Supplement. If Contractor fails to submit its Final Payment application within ninety (90) Days after issuance of Final Completion by the Owner, and Contractor has not obtained written extension by Owner, all requests or Claims for additional costs or an extension of Supplement Time shall be waived.

SECTION F JOB SITE CONDITIONS

F.1 USE OF PREMISES

Contractor shall confine equipment, storage of materials and operation of Work to the limits indicated by Contract Documents, Applicable Laws, permits or directions of the Owner. Contractor shall follow the Owner's instructions regarding use of premises, if any.

F.2 PROTECTION OF WORKERS, PROPERTY AND THE PUBLIC

F.2.1 Contractor shall maintain continuous and adequate protection of all the Work from damage and shall protect the Owner, workers and property from injury or loss arising in connection with any given Supplement. Contractor shall remedy acceptably to the Owner any damage, injury, or loss, except such as may be directly due to errors in the Contract Documents or caused by authorized representatives or personnel of the Owner. Contractor shall adequately protect adjacent property as provided by law and the Contract Documents.

F.2.2 Contractor shall take all necessary precautions for the safety of all personnel on the job site or otherwise engaged in the undertaking of the Scope and shall comply with the Contract Documents, best practices and all applicable provisions of federal, state and municipal safety laws and building codes to prevent accidents or injury to persons on, about or adjacent to the premises where the Scope is being performed. Contractor shall erect and properly maintain at all times, as required by the conditions and progress of the Scope, all necessary safeguards for protection of workers and the public against any hazards created by construction. Contractor shall designate a responsible employee or associate on the job site, whose duty shall be the prevention of accidents. The name and position of the person designated shall be reported to the Owner. The Owner has no responsibility for job site safety; job site safety shall be the responsibility of the Contractor.

F.2.3 Contractor shall not enter upon private property without first obtaining permission from the property owner or its duly authorized representative. Contractor shall be responsible for the preservation of all public and private property along and adjacent to the Work contemplated under any given Supplement and shall use every precaution necessary to prevent

damage thereto. In the event the Contractor damages any property, the Contractor shall at once notify the property owner and make, or arrange to make, full restitution. Contractor shall, immediately and in writing, report to the Owner all pertinent facts relating to such property damage and the ultimate disposition of the claim for damage.

F.2.4 Contractor shall be responsible for protection of adjacent work areas including impacts brought about by activities, equipment, labor, utilities, vehicles and materials on the site.

Contractor shall verify that all mechanical or electrical equipment in the construction areas that may be affected by the Scope is in working order and shall notify the Owner, in writing, of any equipment not in working order prior to the start of the Work. Start of Work will be considered as acknowledgement that all equipment is in good working order. Contractor shall be required to restore equipment to its original, or better, condition upon completion of the project.

F.2.5 Contractor shall at all times direct its activities in such a manner as to minimize adverse effects on the environment. Handling of all materials shall be conducted so no release will occur that may pollute or become hazardous.

F.2.6 In an emergency affecting the safety of life or limb or of the Work or of adjoining property, the Contractor, without special instruction or authorization from the Owner, shall act reasonably to prevent threatened loss or injury, and shall so act, without appeal, if instructed by the Owner. Any compensation claimed by the Contractor on account of emergency work shall be determined in accordance with section D.

F.3 CUTTING AND PATCHING

F.3.1 Contractor shall be responsible for coordinating all cutting, fitting, or patching of the Scope to make its several parts come together properly and fit to receive or be received by work of other contractors or Subcontractors shown upon, or reasonably implied by, the Contract Documents.

F.3.2 Contractor shall be responsible for restoring all cut, fitted, or patched surfaces to an original condition; provided, however, that if a different condition is specified in the Contract Documents, then Contractor shall be responsible for restoring such surfaces to the condition specified in the Contract Documents.

F.4 CLEANING UP

From time to time as may be prudent or ordered by the Owner and, in any event, immediately after completion of the Scope, the Contractor shall, at its own expense, clean up and remove all refuse and unused materials of any kind resulting from the Scope. If Contractor fails to do so within twenty-four hours after notification by the Owner, the work may be done by others and the cost charged to the Contractor and deducted from payment due the Contractor.

F.5 ENVIRONMENTAL CONTAMINATION

F.5.1 Contractor shall be held responsible for and shall indemnify, defend (with counsel of Owner's choice), and hold harmless Owner from and against any and all costs, expenses, damages, claims, and causes of action, (including attorney fees), resulting from all spills, releases, discharges, leaks and disposal of environmental pollution, including storage, transportation, and handling during the performance of the Work or Contractor's obligations under any given Supplement which occur as a result of, or are contributed by, the negligence or actions of Contractor or its personnel, agents, or Subcontractors or any failure to perform in accordance with the Contract Documents (except to the extent otherwise void under ORS 30.140). Nothing in this section F.5.1 shall limit Contractor's responsibility for obtaining insurance coverages required under Section G.3 of this Contract, and Contractor shall take no action that would void or impair such coverages.

(a) Contractor agrees to promptly dispose of such spills, releases, discharge or leaks to the satisfaction of Owner and regulatory agencies having jurisdiction in a manner that complies with Applicable Laws. Cleanup shall be at no cost to the Owner and shall be performed by properly qualified and, if applicable, licensed personnel.

(b) Contractor shall obtain the Owner's written consent prior to bringing onto the job site any (i) environmental pollutants or (ii) hazardous substances or materials, as the same or reasonably similar terms are used in any Applicable Laws. Notwithstanding such written consent from the Owner, the Contractor, at all times, shall:

- (i) Properly handle, use and dispose of all environmental pollutants and hazardous substances or materials brought onto the job site, in accordance with all Applicable Laws;
- (ii) Be responsible for any and all spills, releases, discharges, or leaks of (or from) environmental pollutants or hazardous substances or materials which Contractor has brought onto the job site; and
- (iii) Promptly clean up and remediate, without cost to the Owner, such spills, releases, discharges, or leaks to the Owner's satisfaction and in compliance with all Applicable Laws.

F.5.2 Contractor shall report all reportable quantity releases, as such releases are defined in Applicable Laws, including but not limited to 40 CFR Part 302, Table 302.4 and in OAR 340-142-0050, to applicable federal, state, and local regulatory and emergency response agencies. Upon discovery, regardless of quantity, Contractor must telephonically report all releases to the Owner. A written follow-up report shall be submitted to Owner within 48 hours of the telephonic report. Such written report shall contain, as a minimum:

- (a) Description of items released (identity, quantity, manifest numbers, and any and all other documentation required by law.)
- (b) Whether amount of items released is EPA/DEQ reportable, and, if so, when reported.
- (c) Exact time and location of release, including a description of the area involved.
- (d) Containment procedures initiated.
- (e) Summary of communications about the release between Contractor and members of the press or State, local or federal officials other than Owner.
- (f) Description of cleanup procedures employed or to be employed at the site, including disposal location of spill residue.
- (g) Personal injuries, if any, resulting from, or aggravated by, the release.

F.6 ENVIRONMENTAL CLEAN-UP

F.6.1 Unless disposition of environmental pollution is specifically a part of any given Supplement or was caused by the Contractor (reference F.5 Environmental Contamination), Contractor shall immediately notify Owner of any hazardous substance(s) which Contractor discovers or encounters during performance of the Scope required by the Supplement. "Hazardous substance(s)" means any hazardous, toxic and radioactive materials and those substances defined as "hazardous substances," "hazardous materials," "hazardous wastes," "toxic substances," or other similar designations in any federal, state, or local law, regulation, or ordinance, including without limitation asbestos, polychlorinated biphenyl (PCB), or petroleum, and any substances, materials or wastes regulated by 40 CFR, Part 261 and defined as hazardous in 40 CFR S 261.3. In addition to notifying Owner of any hazardous substance(s) discovered or encountered, Contractor shall immediately cease working in any particular area of the Project where a hazardous substance(s) has been discovered or encountered if continued work in such area would present a risk or danger to the health or well-being of Contractor's or any Subcontractor's work force, property or the environment.

F.6.2 Upon being notified by Contractor of the presence of hazardous substance(s) on the job site, Owner shall arrange for the proper disposition of such hazardous substance(s).

F.7 FORCE MAJEURE

A Party to the Contract or any given Supplement shall not be held responsible for delay or default due to Force Majeure acts, events or occurrences unless they could have been avoided by the exercise of reasonable care, prudence, foresight, and diligence by that Party. The Owner may terminate the Contract or any given Supplement upon written notice after determining that delay or default caused by Force Majeure acts, events or occurrences will reasonably prevent successful performance of the Supplement.

**SECTION G
INDEMNITY, BONDING, AND INSURANCE**

G.1 RESPONSIBILITY FOR DAMAGES / INDEMNITY

G.1.1 Contractor shall be responsible for all damage to property, injury to persons, and loss, expense, inconvenience, and delay that may be caused by, or result from, the carrying out of the Scope to be done under any given Supplement, or from any act, omission or neglect of the Contractor, its Subcontractors, sub-subcontractors of any tier, suppliers, employees, guests, visitors, invitees and agents.

G.1.2 To the fullest extent permitted by law, Contractor shall indemnify, defend (with counsel approved by Owner) and hold harmless the Owner, Design Professional, Design Professional's consultants, and their respective officers, directors, agents, trustees, employees, partners, members, stockholders and affiliated companies (collectively "Indemnitees") from and against all claims, suits, actions, losses, liens, damages, liabilities, costs and expenses, including reasonable attorneys' fees, experts' fees and costs, of whatsoever nature resulting in any way from, arising out of, or relating to the activities of the Work of the Contractor or the Contractor's, suppliers, partners, joint venturers, subcontractors (of any tier), consultants, officers, agents or employees, but only to the extent caused by the negligence or other wrongful conduct of the Contractor or the Contractor's suppliers, partners, joint venturers, subcontractors (of any tier), consultants, officers, agents or employees; provided, however, to the extent Contractor provides architectural, engineering, photogrammetric mapping, transportation planning or land surveying services or related services (as that term is defined under ORS 279C.100), Contractor has no duty to defend Owner against a claim for professional negligence and relating to the professional services provided by the Contractor, except to the extent that Contractor's liability or fault is determined by adjudication or alternative dispute resolution or otherwise resolved by settlement agreement, and not to exceed the proportionate fault of the Contractor or the Contractor's suppliers, partners, joint venturers, subcontractors (of any tier), consultants, officers, agents or employees.

G.1.3 In claims against any person or entity indemnified under Section G.1.2 by an employee of the Contractor, a Subcontractor, anyone directly or indirectly employed by them or anyone for whose acts they may be liable, the indemnification obligation under Section G.1.2 shall not be limited by a limitation on amount or type of damages, compensation or benefits payable by or for the Contractor or a Subcontractor under workers' compensation acts, disability benefit acts or other employee benefit acts.

G.2 PERFORMANCE AND PAYMENT SECURITY; PUBLIC WORKS BOND

G.2.1 When any given Supplement Price is \$150,000 or more, the Contractor shall furnish and maintain in effect at all times during the Supplement Period a performance bond in a sum equal to the Supplement Price and a separate payment bond also in a sum equal to the Supplement Price. Contractor shall furnish such bonds even if the Supplement Price is less than the above thresholds if otherwise required by the Contract Documents.

G.2.2 Bond forms furnished by the Owner and notarized by awarded Contractor's surety company authorized to do business in Oregon are the only acceptable forms of performance and payment security, unless otherwise specified in the Contract Documents.

G.2.3 Before execution of any given Supplement, the Contractor shall file with the Construction Contractors Board, and maintain in full force and effect, the separate public works bond required by Oregon Laws 2015, Chapter 279C, and OAR 839-025-0015, unless otherwise exempt under those provisions. The Contractor shall also include in every subcontract a provision requiring the Subcontractor to have a public works bond filed with the Construction Contractors Board before commencement of the Work under the applicable Scope, unless otherwise exempt, and shall verify that the Subcontractor has filed a public works bond before permitting any Subcontractor to commence with the Work under the applicable Scope.

G.3 INSURANCE

G.3.1 General Requirements. The required insurance amounts set forth below do not in any way limit the amount or scope of liability of Contractor under the Contract Documents. The coverages and limits listed indicate only the minimum coverages and limits of insurance, Owner is willing to accept to help ensure full performance of all terms and conditions of any given Supplement.

- (a) Primary Coverage and Non-Contributory Coverage. Insurance carried by Contractor under this Supplement shall be primary and non-contributory.
- (b) Additional Insured. Each liability policy, except Workers' Compensation and Professional Liability, shall be endorsed to include Owner, its trustees, officers, employees and agents as additional insured with respect to the Contractor's activities to be performed under the Contract and or any given Supplement.
 - (i) If Contractor cannot name the Owner as additional insured, Contractor shall obtain at Contractor's expense, and keep in effect during the term of this Contract, Owners and Contractors Protective Liability Insurance, naming the Owner as additional insured with minimum limits of \$2,000,000 per occurrence and \$2,000,000 aggregate. This policy must be kept in effect for 36 months following Final Completion. As evidence of coverage, Contractor shall furnish the actual policy to Owner prior to execution of any given Supplement.
- (c) Company Ratings. All policies of insurance must be written by companies having an A.M. Best rating of no less than "A-VII", or equivalent. Owner may, upon thirty (30) days written notice to Contractor, require Contractor to change any carrier whose rating drops below an "A-VII" rating. Eligible insurers include admitted insurers that have been issued a certificate of authority from the Oregon Department of Consumer and Business Services authorizing them to conduct an insurance business and issue policies of insurance in the state of Oregon, and certain non-admitted surplus lines insurers that satisfy the requirements of applicable Oregon law and which are subject to approval the Owner.
- (d) Notice of Cancellation, Change, or Exhaustion of Limits. If the Contractor receives a non-renewal or cancellation notice from an insurance carrier affording coverage required herein, or receives notice that coverage no longer complies with the insurance requirements herein, or if Contractor exhausts 50% or more of the aggregate limit of any required policy, Contractor agrees to notify Owner in writing within five (5) business days with a copy of the non-renewal or cancellation notice, written specifics as to which coverage is no longer in compliance, or notice of depletion of 50% or more of a policy aggregate. When notified by Owner, the Contractor agrees to stop Work until all required insurance is confirmed in effect. Any failure to comply with the reporting provisions of this insurance, shall not alter the Contractor's obligations.
- (e) Owner shall have the right, but not the obligation, to prohibit the Contractor from entering the job site until a new certificate(s) of insurance is provided to Owner evidencing replacement coverage is in place. The Contractor agrees Owner reserves the right to withhold payment to Contractor until evidence of reinstated or replacement coverage is provided to Owner.
- (f) Deductibles and Self-insured Retentions. Any deductible, self-insured retention and/or self-insurance in excess of \$50,000 must be approved by the Owner in writing.
- (g) Tail Coverage. If any required policy is arranged on a "claims made" basis, tail coverage will be required at the completion of any given Supplement for a duration of 36 months or the maximum time period available in the marketplace if less than 36 months. Continuous "claims made" coverage will be acceptable in lieu of tail coverage, provided its retroactive date is on or before the effective date of the Supplement. Contractor shall furnish certificates of insurance evidencing the required tail coverage or continuous "claims made" liability coverage for 36 months following Final Completion. Owner's receipt of the certificate of insurance and/or endorsement evidencing such coverage shall be a condition precedent to Owner's obligation to make final payment and to Owner's final acceptance of Scope or services and related warranty (if any).

G.3.2 Workers' Compensation. All employers, including Contractor, that employ subject workers who work under this Contract and or any given Supplement in the State of Oregon shall comply with ORS 656.017 and provide the required Workers' Compensation coverage, unless such employers are exempt under ORS 656.126, and Employer's Liability Insurance with minimum limits of \$1,000,000 each accident; \$1,000,000 disease-each employee; and \$1,000,000 disease-policy limit. Contractors who perform the Work without the assistance or labor of any employee need not obtain such coverage if the Contractor certifies so in writing. Contractor shall ensure that each of its Subcontractors and sub-subcontractors of any tier comply with these requirements. The Contractor shall require proof of such Workers'

Compensation coverage by receiving and keeping on file a certificate of insurance from each Subcontractor or anyone else directly employed by either the Contractor or its Subcontractors.

G.3.3 Commercial General Liability (“CGL”). Contractor shall obtain and keep in effect at Contractor's expense for the term of the Contract, CGL insurance covering bodily injury and property damage in the amount of \$1,000,000 per occurrence and \$2,000,000 aggregate. This insurance shall include bodily injury liability, products and completed operations, and contractual liability coverage for the indemnities provided under the Contract and or any given Supplement (to the extent contractual liability coverage for the indemnity is available in the marketplace).

- (a) CGL insurance shall be written on current ISO occurrence for CG 00 01 or its equivalent if Owner approves and shall cover liability arising from premises, operations, independent contractors, products-completed operations, death, bodily injury, property damage, personal injury and advertising injury and liability assumed under an insured contract.
- (b) The additional insured coverage under the CGL shall be on current ISO additional insured endorsements CG 20 10 (07 04) and CG 20 37 (07 04) or substitutes providing equivalent coverage if Owner approves. Such insurance shall apply as primary insurance to the additional insureds.

G.3.4 Business Automobile Liability. Contractor shall obtain, at Contractor's expense, and keep in effect during the term of this Contract, Business Automobile Liability Insurance with “symbol 1” coverage (owned, hired and non-owned vehicles) with a minimum combined single limit of \$1,000,000. The coverage may be written in combination with the Commercial General Liability Insurance.

- (a) Business auto coverage shall be written on ISO form CA 00 01, CA 00 05, CA 00 12, CA 00 20 or its equivalent if Owner approves.

G.3.5 Umbrella Liability. Contractor shall obtain, at Contractor’s expense, and keep in effect during the term of this Contract, Umbrella Liability Insurance over and above the Commercial General Liability, Business Automobile Liability and Employers’ Liability insurance coverages with minimum limits of \$1,000,000 per occurrence and \$1,000,000 aggregate. If Contractor has annual gross revenue greater than \$15,000,000, the required Umbrella Liability coverage shall have minimum limits of \$5,000,000 per occurrence and \$5,000,000 aggregate.

- (a) Umbrella Insurance coverage shall be provided on a follow-form basis and Contractor shall be responsible for any gaps between underlying coverage and excess coverage for all policies required under the term of the Contract and or any given Supplement.

G.3.6 Professional Liability (if required by issuance of Supplemental General Conditions). Contractor shall obtain, at Contractor’s expense, Professional Liability/Errors & Omissions insurance covering damages caused by any negligent error, omission, or professional misconduct of the Contractor with minimum limits of \$3,000,000 each claim and a \$3,000,000 aggregate. Contractor shall require that each of its Major Consultants and subcontractors (including structural, civil, mechanical, plumbing, electrical engineering, survey, geotechnical and materials testing) secures and maintains Professional Liability/Errors & Omissions coverage with minimum limits of \$2,000,000 each claim and a \$2,000,000 aggregate. All other Consultants and subcontractors not listed above shall have coverage with minimum limits of \$1,000,000 each claim and \$1,000,000 aggregate.

G.3.7 Pollution Liability (if required by Owner through issuance of Supplemental General Conditions). Contractor shall obtain, at Contractor’s expense, and keep in effect during the term of this Contract, Pollution Liability Insurance with minimum limits of \$3,000,000 per occurrence and \$3,000,000 aggregate, naming Owner as Additional Insured, as noted in the Additional Insured section.

G.3.8 Builder’s Risk Insurance – Completed Value Basis. Unless otherwise provided, the Contractor shall purchase and maintain, in a company or companies lawfully authorized to do business in the jurisdiction in which the Project is located, Builder's Risk Insurance in the amount of the initial Supplement Price, plus value of subsequent modifications, Change Orders, and cost of material supplied or installed by others, comprising total value of the entire Project at the site on a replacement cost basis without optional deductibles. The earthquake and flood insurance sub limits will be equal to the maximum probable loss.

- (a) Policy must provide coverage from the time any covered property becomes the responsibility of the Contractor, and continue without interruption during construction, renovation, or installation, through final completion, including any time during which the covered property is being transported to the construction installation site, or awaiting installation, whether on or off site.
- (b) The Builder's Risk Insurance shall include the Owner, the Contractor, and subcontractors of every tier as named insureds on the policy and shall include a waiver of subrogation provision in favor of all parties.
- (c) The Builder's Risk Coverage shall be written on a Special Covered Cause of Loss form and shall include theft, vandalism, malicious mischief, collapse, false-work, temporary buildings, transit, debris removal including demolition, increased cost of construction, architect's fees and expenses, flood (including water damage), earthquake, and if applicable, all below and above ground structures, piping, foundations including underground water and sewer mains, piling including the ground on which the structure rests and excavation, backfilling, filling, and grading.
- (d) The Builder's Risk shall include a Beneficial Occupancy Clause. The policy shall specifically permit occupancy of the building during construction. Contractor shall take reasonable steps to obtain consent of the insurance company and delete any provisions with regard to restrictions within any Occupancy Clauses within the Builder's Risk Policy.
- (e) Equipment Breakdown Coverage (a.k.a. Boiler & Machinery) shall be included as required by the Contract Documents or by law, which shall specifically cover insured equipment during installation and testing (including cold and hot testing).
- (f) The Builder's Risk shall include loss of use due to delays in project completion caused by covered peril losses to the Project, including loss of income and rents and soft costs.
- (g) The deductible shall not exceed \$50,000 for physical damage and shall be the responsibility of the Contractor. The earthquake and flood deductible shall not exceed 2 percent of each loss or \$50,000, whichever is greater.
- (h) OSU shall be provided with a certificate of insurance, as well as a copy of the policy.
- (i) The Contractor shall be responsible for the payment of premium, giving or receiving notice of cancellation; and requesting amendments to this policy and accepting amendments to this policy made by the company.
- (j) Owner reserves the right to purchase the Builder's Risk insurance policy. In the event Owner purchases the Builder's Risk, the policy shall adhere to the terms of G.3.8.

G.3.9 Installation Floater. At Owner's sole discretion through issuance of Supplemental General Conditions the requirements of G.3.8 may be replaced by G.3.9 Installation Floater. Contractor shall obtain and keep in effect during the term of any given Supplement, an Installation Floater policy for coverage of the Contractor's materials to be used for completion of the work performed under the Supplement. The minimum amount of coverage to be carried shall be equal to the full amount of the materials supplied for the Supplement. The policy will include as loss payees Owner, the Contractor and its Subcontractors as their interests may appear.

G.3.10 Certificate(s) of Insurance. As evidence of the insurance coverages required by the Contract and or any given Supplement, the Contractor shall furnish certificate(s) of insurance to the Owner prior to the execution of any given Supplement. The certificate(s) will specify all of the parties who are additional insured or loss payees for the Supplement and or Contract, and the applicable endorsements will be attached. Additional insured endorsements must include completed operations without restriction to contractual requirements. At Owner's request, Contractor shall deliver to Owner the full insurance policies and all endorsements and riders. The coverages shall include cross-claim and severability of interests endorsements.

G.3.11 Subcontractors. Subject to and following the written approval of the Owner as outlined in B.11.3 as related to Subcontracts and Assignment, the Contractor shall require Subcontractors to have insurance as outlined in section G.3.1 through G.3.4 with minimum limits of \$1,000,000 per occurrence.

G.3.12 Owner may adjust the required insurance coverages and limits through the issuance of Supplemental General Conditions.

SECTION H SCHEDULE OF WORK

H.1 SUPPLEMENT PERIOD

H.1.1 Time is of the essence. The Contractor shall at all times carry on the applicable Scope diligently, without delay and punctually fulfill all requirements herein. Contractor shall commence Work on the job site within fifteen (15) Days of Notice to Proceed of the applicable Scope, unless directed otherwise.

H.1.2 Unless specifically extended by Construction Change Directive or Change Order, all Scope for an applicable supplement shall be complete by the date contained in the Contract Documents. The Owner shall have the right to accelerate the completion date of the Scope, which may require the use of overtime. Any such accelerated schedule shall be an acceleration in performance of the Scope under Section D.1.2 (f) and shall be subject to the provisions of Section D.1.

H.1.3 The Owner shall not waive any rights under the Contract and or any given Supplement by permitting the Contractor to continue or complete in whole or in part the Scope after the date described in Section H.1.2 above.

H.2 SCHEDULE

H.2.1 Contractor shall provide, no later than the pre-construction conference, a detailed Construction Schedule for review and acceptance by the Owner. The submitted Construction Schedule must illustrate Work by significant Project components, significant labor trades, long lead items, broken down by building and/or floor where applicable. Each Construction Schedule item shall account for no greater than 5% of the monetary value of the project or 5% of the available time. Construction Schedules with activities of less than one day or valued at less than 1% of the Supplement Sum shall be considered too detailed and shall not be accepted. Construction Schedules lacking adequate detail, or unreasonably detailed, shall be rejected. Included within the Construction Schedule are the following: 1) Notice to Proceed, 2) Substantial Completion, and 3) Final Completion. Contractor shall provide an updated, full Project Construction Schedule with each payment request. In addition, twice monthly, the Contractor shall provide an updated three-week forward-looking schedule. Acceptance of the Construction Schedule by the Owner does not constitute agreement by the Owner as to the Contractor's sequencing, means, methods, or durations. Any positive difference between the Contractor's scheduled completion and the Supplement completion date is float owned by the Project. Use of the float shall be negotiated. In no case shall the Contractor make a claim for delays if the Scope is completed within the Supplement Time but after Contractor's scheduled completion.

H.3 PARTIAL OCCUPANCY OR USE

H.3.1 The Owner may occupy or use any completed or partially completed portion of the Work at any stage, provided such occupancy or use is consented to by public authorities having jurisdiction over the Work. Such partial occupancy or use may commence whether or not the portion is substantially complete, provided the Owner and Contractor have reasonably accepted in writing the responsibilities assigned to each of them for payments, retainage, if any, security, insurance or self-insurance, maintenance, heat, utilities, and damage to the Work, and have agreed in writing concerning the period for correction of the Work and commencement of warranties required by the Contract Documents with respect to such portion of the Scope. Approval by the Contractor to partial occupancy or use shall not be unreasonably withheld. Immediately prior to such partial occupancy or use, the Owner and Contractor shall jointly inspect the area to be occupied or portion of the Work to be used in order to determine and record the condition of the Work. Partial occupancy or use of a portion or portions of the Work shall not constitute acceptance of Scope not complying with the requirements of the Contract Documents.

H.3.2 If the Owner intends to occupy parts of the job site or existing building adjacent to the job site, the Contractor is responsible, at its sole expense, for erection and maintenance of barriers between Work area and the Owner-occupied areas of the building, to protect safety of the occupants and to conform with all requirements of the Contract Documents. The Contractor is also responsible for maintaining existing (new or temporary) building systems fully functional in the Owner-occupied areas for the duration of the Work according to the Contract Documents. These shall include, but not be limited to, the indoor environment quality suitable for occupancy, and in accordance with requirements of all Applicable Laws, temperature control, building automation, fire alarm, fire protection, data network, phone and security systems. All costs

associated with maintaining such building systems in fully functional condition for the duration of the Work are included in the Supplement Price and are not subject to further increase through the Change Order or Claims processes.

H.3.3 Contractor understands that Owner may have ongoing activities involving staff, faculty, students, and or community members at or near the job site when the Work is being performed. Contractor commits to scheduling and performing its Work in such a manner as will reasonably avoid or minimize any potential disruption to such activities to allow their timely and uninterrupted performance.

SECTION I CORRECTION OF SCOPE

I.1 CORRECTION OF SCOPE BEFORE FINAL PAYMENT

The Contractor warrants to the Owner that materials and equipment furnished under any given Supplement will be of good quality and new unless otherwise required or permitted by the Contract Documents, that the Work will be free from defects, and that the Work will conform to the requirements of the Contract Documents. Work failing to conform to these requirements shall be deemed defective. Contractor shall promptly remove from the premises and replace all defective materials and equipment as determined by the Owner, whether incorporated in the Work or not. Removal and replacement shall be without loss or expense to the Owner, and Contractor shall bear the cost of repairing all Work destroyed or damaged by such removal or replacement. Contractor shall be allowed a period of no longer than thirty (30) Days after Substantial Completion for completion of defective (Punch List) work. At the end of the thirty-day period, or earlier if requested by the Contractor, Owner shall arrange for inspection of the Work by the Design Professional or Owner as applicable. Should the Work not be complete, and all corrections made, the costs for all subsequent re-inspections shall be borne by the Contractor. If Contractor fails to complete the Punch List work within the thirty (30) Day period, Owner may perform such work and Contractor shall reimburse Owner all costs of the same within ten (10) Days after demand without affecting Contractor's obligations.

I.2 WARRANTY WORK

I.2.1 Neither the final certificate of payment nor any provision of the Contract Documents shall relieve the Contractor from responsibility for defective Work and, unless a longer period is specified, Contractor shall correct all defects that appear in the Work within a period of one year from the date of issuance of the written notice of Substantial Completion by the Owner except for latent defects which will be remedied by the Contractor at any time they become apparent. The Owner shall give Contractor notice of defects with reasonable promptness. The Contractor shall perform the Warranty Work by correcting defects within twenty-four (24) hours of notification by Owner, unless otherwise specified in the Contract Documents. Should the Contractor fail to respond within the specified response time, the Owner may, at its option, complete the necessary repairs using another contractor or its own forces. If Owner completes the repairs using Owner's own forces, Contractor shall pay Owner at the rate of one and one-half (1½) times the standard hourly rate of Owner's forces, plus related overhead and any direct non-salary costs. If Owner completes the repairs using another contractor, Contractor shall pay Owner the amount of Owner's direct costs billed by the other contractor for the work, plus the direct salary costs and related overhead and direct non-salary expenses of Owner's forces who are required to monitor that contractor's work. Work performed by Owner using Owner's own forces or those of another contractor shall not affect the Contractor's contractual duties under these provisions, including warranty provisions. In the event of Warranty Work consisting of emergency repairs, Owner may perform such work and Contractor shall reimburse Owner all costs of the same within ten (10) Days after demand, without affecting Contractor's obligations.

I.2.2 Nothing in this Section I.2 provision shall negate guarantees or warranties for periods longer than one year including without limitation such guarantees or warranties required by other sections of the Contract Documents for specific installations, materials, processes, equipment or fixtures.

I.2.3 In addition to Contractor's warranty, manufacturer's warranties shall pass to the Owner and shall not take effect until such portion of the Work covered by the applicable warranty has been accepted in writing by the Owner.

I.2.4 The one-year period for correction of Work shall be extended with respect to portions of Work performed after Substantial Completion by the period of time between Substantial Completion and the actual performance of the Work, and shall be extended by corrective Work performed by the Contractor pursuant to this Section, as to the Work corrected. The Contractor shall remove from the site portions of the Work which are not in accordance with the requirements of the Contract Documents and are neither corrected by the Contractor nor accepted by the Owner.

I.2.5 Nothing contained in this Section I.2 shall be construed to establish a period of limitation with respect to other obligations which the Contractor might have under the Contract Documents. Establishment of the period for correction of Work as described in this Section I.2 relates only to the specific obligation of the Contractor to correct the Work, and has no relationship to the time within which the obligation to comply with the Contract Documents may be sought to be enforced, nor to the time within which proceedings may be commenced to establish the Contractor's liability with respect to the Contractor's obligations other than specifically to correct the Work.

I.2.6 If the Owner prefers to accept Work which is not in accordance with the requirements of the Contract Documents, the Owner may do so instead of requiring its removal and correction, in which case the Supplement Price will be reduced as appropriate and equitable. Such adjustment shall be assessed whether or not final payment has been made.

**SECTION J
SUSPENSION AND/OR TERMINATION OF THE SCOPE**

J.1 OWNER'S RIGHT TO SUSPEND THE SCOPE

J.1.1 The Owner has the authority to suspend portions or all of the Scope due to the following causes:

- (a) Failure of the Contractor to correct unsafe conditions;
- (b) Failure of the Contractor to carry out any provision of the Contract and or any given Supplement;
- (c) Failure of the Contractor to carry out orders;
- (d) Conditions, in the opinion of the Owner, which are unsuitable for performing the Scope;
- (e) Time required to investigate differing site conditions;
- (f) Any reason considered to be in the public interest.

J.1.2 The Owner shall notify Contractor and the Contractor's Surety in writing of the effective date and time of the suspension, and Owner shall notify Contractor and Contractor's surety in writing to resume the Scope.

J.2 CONTRACTOR'S RESPONSIBILITIES

J.2.1 During the period of the suspension, Contractor is responsible to continue maintenance at the project just as if the Scope were in progress. This includes, but is not limited to, protection of completed Scope, maintenance of access, protection of stored materials, temporary facilities, and clean-up.

J.2.2 When the Work is recommenced after the suspension, the Contractor shall replace or renew any Work damaged during the suspension, remove any materials or facilities used as part of temporary maintenance, and complete the project in every respect as though its prosecution had been continuous and without suspension.

J.3 COMPENSATION FOR SUSPENSION

J.3.1 Depending on the reason for suspension of the Scope, the Contractor or the Owner may be due compensation by the other Party. If the suspension was required due to acts or omissions of Contractor, the Owner may assess the Contractor actual costs of the suspension in terms of administration, remedial work by the Owner's forces or another contractor to correct the problem associated with the suspension, rent of temporary facilities, and other actual costs related to the suspension. If the suspension was caused by acts or omissions of the Owner, the Contractor may be due compensation which shall be defined using Section D, Changes in Scope. If the suspension was required through no fault of the Contractor or the Owner, neither party shall owe the other for the impact.

J.4 OWNER'S RIGHT TO TERMINATE CONTRACT

J.4.1 The Owner may, without prejudice to any other right or remedy, and after giving Contractor seven (7) Days' written notice and an opportunity to cure, terminate the Contract and or any given Supplement in whole or in part under the following conditions:

- (a) If Contractor should, voluntarily or involuntarily, seek protection under the United States Bankruptcy Code and Contractor as debtor-in-possession or the Trustee for the estate fails to assume the Contract and or any given Supplement within a reasonable time;
- (b) If Contractor should make a general assignment for the benefit of Contractor's creditors;
- (c) If a receiver should be appointed on account of Contractor's insolvency;
- (d) If Contractor should repeatedly refuse or fail to supply an adequate number of skilled workers or proper materials to carry on the Work as required by the Contract Documents, or otherwise fail to perform the Work in a timely manner;
- (e) If Contractor should repeatedly fail to make prompt payment to Subcontractors or for material or labor, or should disregard laws, ordinances or the instructions of the Owner; or
- (f) If Contractor is otherwise in breach of any part of the Contract Documents.
- (g) If Contractor is in violation of Applicable Laws, either in the conduct of its business or in its performance of the Scope.

J.4.2 At any time that any of the above occurs, Owner may exercise all rights and remedies available to Owner at law or in equity, and, in addition, Owner may take possession of the premises and of all materials and appliances and finish the Scope by whatever method it may deem expedient. In such case, the Contractor shall not be entitled to receive further payment until the Scope is completed. If the Owner's cost of finishing the Scope exceeds the unpaid balance of the Supplement Price, Contractor shall pay the difference to the Owner.

J.5 TERMINATION FOR CONVENIENCE

J.5.1 Owner may terminate the Contract and or any given Supplement in whole or in part whenever Owner determines that termination is in the best interest of Owner or the public.

J.5.2 The Owner shall provide the Contractor with seven (7) Days prior written notice of a termination for Owner's or for public convenience. After such notice, the Contractor shall provide the Owner with immediate and peaceful possession of the premises and materials located on and off the premises for which the Contractor received progress payment under Section E. Compensation for Scope terminated by the Owner under this provision will be according to Section E. In no circumstance shall Contractor be entitled to lost profits for Scope not performed due to termination.

J.6 ACTION UPON TERMINATION

J.6.1 Upon receiving a notice of termination, and except as directed otherwise by the Owner, Contractor shall immediately cease placing further subcontracts or orders for materials, services, or facilities. In addition, Contractor shall terminate all subcontracts or orders to the extent they relate to the Scope terminated and, with the prior written approval of the Owner, settle all outstanding liabilities and termination settlement proposals arising from the termination of subcontracts and orders.

J.6.2 As directed by the Owner, Contractor shall, upon termination, transfer title and deliver to the Owner all Record Documents, information, and other property that, if the Supplement had been completed, would have been required to be furnished to the Owner.

J.6.3 Upon Owner's notice of termination pursuant to either Section J.4 or J.5, if Owner shall so elect, Contractor shall assign the Owner such subcontracts and orders as Owner shall specify. In the event Owner elects to take assignment of any such subcontract or order, Contractor shall take such action and shall execute such documents as Owner shall reasonably

require for the effectiveness of such assignment and Contractor shall ensure that no contractual arrangement between it and its subcontractors or suppliers of any tier or sub-tier shall prevent such assignment.

SECTION K SUPPLEMENT CLOSE OUT

K.1 RECORD DOCUMENTS

As a condition of final payment (refer also to section E.6), Contractor shall comply with the following: Contractor shall provide Record Documents for the entire Project to Owner as applicable. Record Documents shall depict the Project as constructed and shall reflect each and every change, modification, and deletion made during the construction. Record Documents are part of the Work and shall be provided prior to the Owner's issuance of final payment. Record Documents include all modifications to the Contract Documents unless otherwise directed,

K.2 OPERATION AND MAINTENANCE MANUALS

As part of the Work in any given supplement, Contractor shall submit one (1) electronic draft operation and maintenance manual ("O & M Manual") for review by the Owner prior to submission of any pay request for more than 75% of the Scope. Owner's receipt of the O & M Manual shall be a condition precedent to any payment thereafter due. The O & M Manual shall contain a complete set of all Submittals, all product data as required by the specifications, training information, telephone list and contact information for all consultants, manufacturers, installer and suppliers, manufacturer's printed data, record and shop drawings, schematic diagrams of systems, appropriate equipment indices, warranties and bonds. The Owner may review O & M Manual and provide comments in regard to any modifications or adjustments required. Prior to submission of its final pay request, Contractor shall deliver one (1) complete and approved O & M Manual in electronic form. Owner's receipt of the O & M Manual shall be a condition precedent to Owner's obligation to make final payment.

K.3 COMPLETION NOTICES

K.3.1 Contractor shall provide Owner written notice of both Substantial and Final Completion. The certificate of Substantial Completion shall state the date of Substantial Completion, the responsibilities of the Owner and Contractor for security, maintenance, heat, utilities, damage to the Work and insurance, and the time within which the Contractor shall finish all items on the Punch List accompanying the Certificate. If the Owner agrees with the certificate, the Owner will issue a Substantial Completion letter based on the certificate of Substantial Completion provided by the Contractor. The Contractor may request that a Punch List be prepared by the Owner and included with the letter of Substantial Completion. The Final Completion letter will be issued by the Owner when the Contractor has completed all items on the Punch List and met all other conditions of Final Completion as provided in the Contract Documents. The letters issued by the Owner shall take precedence over the certificates provided by the Contractor.

K.3.2 A certificate of occupancy or temporary certificate of occupancy issued by the AHJ for a portion of the Scope, or the entire Scope must be obtained on or before the date of Substantial Completion. In addition, Substantial Completion of a Scope that includes operating systems (e.g., mechanical, electrical, HVAC) shall be that degree of completion that has provided a minimum of thirty (30) continuous Days of successful, trouble-free operation, which period shall begin after all performance and acceptance testing has been successfully demonstrated to the Owner. All equipment contained in the Scope, plus all other components necessary to enable the Owner to operate the facility in the manner that was intended, shall be complete on the Substantial Completion date.

K.4 TRAINING

As part of the Work in any given supplement, and prior to submission of the final application for payment, the Contractor shall schedule with the Owner training sessions for all equipment and systems as required by the Contract Documents. Contractor shall schedule training sessions at least two weeks in advance of the date of training to allow Owner to provide its personnel with adequate notice. The O & M Manual shall be used as a basis for training. In addition to any off-site training required by the Contract Documents, training shall include a formal session conducted at the job site after the equipment and/or system is completely installed and operational in its normal operating environment.

K.5 EXTRA MATERIALS

As part of the Work in any given supplement, Contractor shall provide spare parts, extra maintenance materials, and other materials or products in the quantities specified in the Contract Documents prior to final payment. Delivery point for extra materials shall be designated by the Owner.

K.6 ENVIRONMENTAL CLEAN-UP

As part of the Final Completion notice, or as a separate written notice submitted with or before the notice of Final Completion, the Contractor shall notify the Owner that all environmental and pollution clean-up, remediation and closure have been completed in accordance with all Applicable Laws and pursuant to the authority of all agencies having jurisdiction, and Contractor shall provide Owner with any and all documentation related to the same, including but not limited to directives, orders, letters, certificates and permits related to or arising from such environmental pollution. The notice shall reaffirm the indemnification given under Section F.5.1 above. Contractor's completion of its obligations under this Section K.6 and Owner's receipt of documents evidencing such completion shall be a condition precedent to Owner's obligation to make final payment.

K.7 CERTIFICATE OF OCCUPANCY

Owner's receipt of an unconditioned certificate of occupancy from the authorities having jurisdiction shall be a condition precedent to Owner's obligation to make final payment, except to the extent failure to obtain an unconditional certificate of occupancy is due to the sole fault or neglect of Owner.

K.8 OTHER CONTRACTOR RESPONSIBILITIES

The Contractor shall be responsible for returning to the Owner all property of Owner issued to Contractor during construction such as keys, security passes, site admittance badges, and all other pertinent items. If Contractor obtained utility services during construction, the Contractor shall be responsible for notifying the appropriate utility companies to transfer utility charges from the Contractor to the Owner. The utility transfer date shall not be before Substantial Completion and may be delayed until Final Completion, if the Owner does not take beneficial use of the facility and the Contractor's forces continue with the Scope of a particular Supplement.

K.9 SURVIVAL

All warranty and indemnification provisions of the Contract, and all of Contractor's other obligations under any given Supplement that are not fully performed by the time of Final Completion or termination of the Contract and or such Supplement, shall survive Final Completion or any termination of the Contract and or such Supplement.

[Remainder of page left blank intentionally]

OREGON STATE UNIVERSITY

PAYMENT BOND

Bond No. _____
Solicitation _____
Project Name _____

_____ (Surety #1) Bond Amount No. 1: \$ _____
_____ (Surety #2)* Bond Amount No. 2:* \$ _____
* If using multiple sureties Total Penal Sum of Bond: \$ _____

We, _____, as Principal, and the above identified Surety(ies), authorized to transact surety business in Oregon, as Surety, hereby jointly and severally bind ourselves, our respective heirs, executors, administrators, successors and assigns firmly by these presents to pay unto Oregon State University (OSU) the sum of (Total Penal Sum of Bond) _____ (Provided, that we the Sureties bind ourselves in such sum "jointly and severally" as well as "severally" only for the purpose of allowing a joint action or actions against any or all of us, and for all other purposes each Surety binds itself, jointly and severally with the Principal, for the payment of such sum only as is set forth opposite the name of such Surety), and

WHEREAS, the Principal has entered into contract No. _____ with OSU, the plans, specifications, terms and conditions of which are contained within the Contract resulting from the above-referenced Solicitation;

WHEREAS, the terms and conditions of the contract, together with applicable plans, standard specifications, special provisions, schedule of performance, and schedule of contract prices, are made a part of this Payment Bond by reference, whether or not attached to the contract (all hereafter called "Contract"); and

WHEREAS, the Principal has agreed to perform the Contract in accordance with the terms, conditions, requirements, plans and specifications, and schedule of contract prices which are set forth in the Contract and any attachments, and all authorized modifications of the Contract which increase the amount of the work, or the cost of the Contract, or constitute authorized extensions of time for performance of the Contract, notice of any such modifications hereby being waived by the Surety:

NOW, THEREFORE, THE CONDITION OF THIS BOND IS SUCH that if the Principal shall (1) faithfully and truly observe and comply with the terms, conditions and provisions of the Contract, in all respects, (2) shall well and truly and fully do and perform all matters and things by it undertaken to be performed under said Contract and any duly authorized modifications that are made, upon the terms set forth therein, and within the time prescribed therein, or as extended therein as provided in the Contract, with or without notice to the Sureties, (3) shall save, defend, indemnify and hold harmless OSU, and its officers, board members, employees, agents and other representatives, against any claim for direct or indirect damages of every kind and description that shall be suffered or claimed to be suffered in connection with or arising out of the performance of the Contract by the Contractor or its subcontractors, (4) shall promptly pay all persons supplying labor, materials or both to the Principal or its subcontractors for prosecution of the work provided in the Contract; (5) shall promptly pay all contributions due the State Industrial Accident Fund and the State Unemployment Compensation Fund from the Principal or its

subcontractors in connection with the performance of the Contract; (6) shall pay over to the Oregon Department of Revenue all sums required to be deducted and retained from the wages of employees of the Principal and its subcontractors pursuant to ORS 316.167;(7) shall permit no lien nor claim to be filed or prosecuted against the State or OSU on account of any labor or materials furnished; and (8) shall do all things required of the Principal by the laws of this State, then this obligation shall be void; otherwise, it shall remain in full force and effect.

Nonpayment of the bond premium will not invalidate this bond, nor shall OSU be obligated for the payment of any premiums.

This bond is given and received under authority of ORS Chapters 279C and 352, the provisions of which hereby are incorporated into this bond and made a part hereof.

IN WITNESS WHEREOF, WE HAVE CAUSED THIS INSTRUMENT TO BE EXECUTED AND SEALED BY OUR DULY AUTHORIZED LEGAL REPRESENTATIVES:

Dated this _____ day of _____, 20__.

PRINCIPAL: _____

By _____

Signature

Official Capacity

Attest: _____

Corporation Secretary

SURETY: _____

[Add signatures for each if using multiple bonds]

BY ATTORNEY-IN-FACT:

[Power-of-Attorney must accompany each bond]

Name

Signature

Address

City State Zip

Phone Fax

OREGON STATE UNIVERSITY

PERFORMANCE BOND

Bond No. _____
Solicitation _____
Project Name _____

_____ (Surety #1) Bond Amount No. 1: \$ _____
_____ (Surety #2)* Bond Amount No. 2:* \$ _____
* If using multiple sureties Total Penal Sum of Bond: \$ _____

We, _____ as Principal, and the above identified Surety(ies), authorized to transact surety business in Oregon, as Surety, hereby jointly and severally bind ourselves, our respective heirs, executors, administrators, successors and assigns firmly by these presents to pay unto Oregon State University (OSU), the sum of (Total Penal Sum of Bond)

(Provided, that we the Sureties bind ourselves in such sum "jointly and severally" as well as "severally" only for the purpose of allowing a joint action or actions against any or all of us, and for all other purposes each Surety binds itself, jointly and severally with the Principal, for the payment of such sum only as is set forth opposite the name of such Surety), and

WHEREAS, the Principal has entered into contract No. _____ with the OSU, the plans, specifications, terms and conditions of which are contained within the Contract resulting from the above-referenced Solicitation;

WHEREAS, the terms and conditions of the Contract, together with applicable plans, standard specifications, special provisions, schedule of performance, and schedule of Contract prices, are made a part of this Performance Bond by reference, whether or not attached to the contract (all hereafter called "Contract"); and

WHEREAS, the Principal has agreed to perform the Contract in accordance with the terms, conditions, requirements, plans and specifications, and all authorized modifications of the Contract which increase the amount of the work, the amount of the Contract, or constitute an authorized extension of the time for performance, notice of any such modifications hereby being waived by the Surety:

NOW, THEREFORE, THE CONDITION OF THIS BOND IS SUCH that if the Principal herein shall (1) faithfully and truly observe and comply with the terms, conditions and provisions of the Contract, in all respects, (2) shall well and truly and fully do and perform all matters and things undertaken by Contractor to be performed under the Contract, upon the terms set forth therein, and within the time prescribed therein, or as extended as provided in the Contract, with or without notice to the Sureties, (3) shall save, defend, indemnify and hold harmless OSU and its officers, board members, employees, agents and other representatives, against any direct or indirect damages or claim of every kind and description that shall be suffered or claimed to be suffered in connection with or arising out of the performance of the Contract by

the Principal or its subcontractors, and (4) shall in all respects perform said contract according to law, then this obligation is to be void; otherwise, it shall remain in full force and effect.

Nonpayment of the bond premium will not invalidate this bond, nor shall OSU be obligated for the payment of any premiums.

This bond is given and received under authority of ORS Chapters 279C and 352, the provisions of which hereby are incorporated into this bond and made a part hereof.

IN WITNESS WHEREOF, WE HAVE CAUSED THIS INSTRUMENT TO BE EXECUTED AND SEALED BY OUR DULY AUTHORIZED LEGAL REPRESENTATIVES.

Dated this _____ day of _____, 20__.

PRINCIPAL: _____

By _____

Signature

Official Capacity

Attest: _____

Corporation Secretary

SURETY: _____

[Add signatures for each surety if using multiple bonds]

BY ATTORNEY-IN-FACT:

[Power-of-Attorney must accompany each surety bond]

Name

Signature

Address

City

State

Zip

Phone

Fax

As indicated in the General Conditions of your contract(s) Section E.2.9, OSU requires that we gather MWESB (Minority, Women's Emerging Small Business) Contractor/Subcontractor information. This is an Oregon State University requirement and the information will be gathered annually and at time of final payment.

- **You must do this step first or the report will not let you add any information:** In Row 1 Column B there is a drop down menu. You must select yearend (if the job has not been completed) or final (if the job is completed and you have submitted for retention). Once you choose yearend or final in the drop down menu there will be areas highlighted in light green and red. Those are the areas that you are required to fill out. If you did not use or planning to use any MWESB then the left side of the report (Light Green area) still needs to be filled out and the red area needs to remain blank.
- If your agency is an MWESB or if you are using/used an MWESB subcontractor then you need to fill out the information in the report that is highlighted in light green and red (see instructions in the next bullet). If you are not an MWESB or used a Subcontractor that is an MWESB then you need to fill out the left side of the form (Light Green areas) and leave the red area blank.
- In row 2 Column B there is another drop down menu, click the drop down menu and choose Fiscal Year 2015.
- In Row 4 Column B there is another drop down menu, click there and choose OSU.

**TECHNICAL SPECIFICATIONS
ITB 2026-021520 - SOAP CREEK RANCH
BRIDGE REPLACEMENT**



Oregon State
University

**Construction Contracts Administration
Oregon State University
644 Southwest 13th Street
Corvallis, Oregon 97333**

SECTION 01 10 00
SUMMARY OF WORK

PART 1 GENERAL

1.01 SUMMARY OF WORK

- A.** The Work consists of demolition and replacement of the existing bridge at Soap Creek Ranch located at 28120 Beef Barn Road, Corvallis, Oregon, including removal of the existing structure, construction of a new bridge structure, and associated site work required to restore roadway access and surrounding site conditions.
- B.** Work shall be started on or around July 1, 2026 following issuance of the Notice to Proceed and satisfaction of all condition's precedent to commencement of Work under the Contract Documents. Work shall be Substantially Complete by October 31, 2026. Work shall achieve Final Completion by December 1, 2026.
- C.** The project site is located at Soap Creek Ranch, 28120 Beef Barn Road, Corvallis, Oregon.

1.02 CONTRACTORS USE OF PREMISES

- A.** Contractor shall limit use of the premises for Work and storage to allow for ongoing agricultural and operational activities at Soap Creek Ranch, Owner security, and safe entry and exit for vehicles and pedestrians.
- B.** Coordinate all operations with the Owner's Authorized Representative during the construction period.
- C.** Coordinate all site access, staging, deliveries, and equipment movement with the Owner's Authorized Representative.
- D.** Contractor parking, staging, and material storage shall be limited to areas designated by the Owner at the Pre-Construction Meeting or otherwise approved in writing by the Owner.
- E.** The Contractor shall maintain safe access to adjacent operational areas throughout construction to the greatest extent reasonably possible.

1.03 OWNER OCCUPANCY

- A. The Owner may continue agricultural and operational activities on portions of the Soap Creek Ranch property during the period of construction. The Contractor shall coordinate operations to avoid interference with ongoing site activities and maintain safe access to adjacent areas.
- B. Cooperate with the Owner's Authorized Representative in construction operations to minimize conflict and to facilitate Owner operations, including restricted access areas, ranch roads, gates, fencing, parking limitations, equipment movement, and emergency vehicle access.
- C. Conduct operations in a manner that minimizes disruption to ongoing ranch activities and maintains safe conditions for University personnel, visitors, and construction activities.

1.04 SITE CONDITIONS

- A. The project site is located within an active agricultural and ranch operations area. Contractors shall examine the site and existing conditions prior to bidding and shall include in their bid all conditions reasonably observable during a site visit.
- B. Variations in ground conditions, access conditions, surface conditions, or agricultural activities typical of ranch operations shall not constitute differing site conditions unless such conditions meet the requirements defined in the Contract Documents.

1.05 PERMITS AND IN-WATER WORK RESTRICTIONS

- A. Owner will obtain county, state, and federal permits for the Project.
- B. Contractor shall comply with all permit conditions and environmental requirements included in the Contract Documents.
- C. In-water work shall be performed only within the in-water work period identified in the Contract Documents.
- D. The in-water work period for this Project is July 1 through October 31.

1.06 CONSTRUCTION ACCESS AND STAGING

- A. The Contractor shall determine staging areas, equipment access routes, material storage locations, and construction access necessary to perform the Work.
- B. Temporary access routes, staging areas, and work areas required to complete the Work shall be provided by the Contractor unless specifically indicated otherwise in the Contract Documents.
- C. Limitations associated with the rural site location, access roads, or surrounding agricultural operations shall be considered by the Contractor when preparing the bid and shall not constitute grounds for additional compensation.

1.07 ACCESS ROAD PROTECTION

- A. The Contractor shall protect existing access roads, ranch roads, gates, fencing, and adjacent site improvements from damage resulting from construction activities.
- B. Any damage caused by the Contractor's operations shall be repaired or restored by the Contractor at no additional cost to the Owner.

1.08 TRAFFIC CONTROL

- A. The Contractor shall be responsible for traffic control required for construction operations, deliveries, and equipment mobilization associated with the Work.
- B. Traffic control measures shall comply with applicable local, county, and state requirements.

1.09 COORDINATION WITH OWNER OPERATIONS

- A. The Contractor shall coordinate construction activities with the Owner's Authorized Representative to minimize disruption to ongoing site operations.
- B. Construction sequencing shall maintain safe access to the project site and adjacent operational areas to the greatest extent reasonably possible.

1.010 DEWATERING AND WATER CONTROL

- A. The Contractor shall provide all temporary water diversion, pumping, drainage, and dewatering required to maintain dry and stable working conditions during construction.
- B. Costs associated with temporary water control necessary to complete the Work shall be included in the Contract Sum unless otherwise specifically indicated in the Contract Documents.

1.011 FOUNDATION PREPARATION AND RESTORATION

- A. Bridge foundation preparation shall be performed in accordance with the Contract Documents, including geotechnical engineer guidance where required by the Contract Documents.
- B. The Contractor shall remove existing bridge piers to one (1) foot below mudline and backfill with gravels where required by the Contract Documents.
- C. The Contractor shall construct abutment scour countermeasures, post-construction stormwater management features, and restoration work required by the Contract Documents.
- D. Temporary access roads, staging areas, and disturbed areas shall be restored to pre-construction conditions or better, as required by the Contract Documents.
- E. Disturbed areas outside the limits of roadways shall be restored with native vegetation, and short-term stabilization measures shall be maintained until permanent erosion control measures are effective.

1.012 TEMPORARY SHORING AND STRUCTURAL SUPPORT

- A. The Contractor shall provide temporary shoring, bracing, or structural support required to safely perform demolition of the existing bridge structure and construction of the new structure.
- B. Conditions encountered during demolition that require temporary support or stabilization of the structure shall be considered part of the Contractor's means and methods and shall not constitute grounds for additional compensation.

END OF SECTION

ITB 2026-021520 – Soap Creek Ranch Bridge Replacement
April 2026

Notice of Extended Payment Provision

The Contract will allow Owner to make:

1. Progress payments no later than 30 days after the date of receipt of an approved Application for Payment.
2. Final payment of all remaining amounts no later than 30 days after the date the Owner approved all Work.

SECTION 01 24 76

APPLICATIONS FOR PAYMENT

PART 1 GENERAL

1.01 SECTION INCLUDES

- A.** Work of this Section includes forms and procedures for progress payments.
- B.** For the primary discussion of payments, refer to OSU General Conditions.

1.02 APPLICATION FORMS

- A.** For applications for payment, use sample Contract Payment Request (see below), contract payment request on company letterhead, or AIA Document G702, supported by AIA Document G703, Continuation Sheet, or similar document.
- B.** Prepare the Schedule of Values arranged by the Owner so that each major item of Work and each subcontracted item of Work is shown as a line item broken down in terms of labor and material costs on AIA Document G703, Application and Certificate for Payment Continuation Sheet, or similar format. The sample continuation sheet included in this Section shall be the minimum Schedule of Values breakdown.
- C.** The Schedule of Values shall be submitted for review by the Owner prior to the first application for payment; and may be used when, and only when, accepted in writing by the Owner.
- D.** Payment request is to include the Contractor's Federal Tax Identification number and return address.

1.03 PAYMENTS

- A.** The Owner will make progress payments on account of the Contract once monthly for the scheduled duration of the Project based on the value of Work completed and materials properly stored at the Project site, as reflected in the approved Schedule of Values and the Application for Payment.

- B.** Complete and forward the Application for Payment to the Owner on or about the 15th day of each month for Work performed during the previous month and include certified payroll statements as required by the OSU General Conditions.
- C.** Submit one (1) copy of forms requesting payment to the Owner.
- D.** Payments may be made for materials properly stored at the Project site when such materials are protected, stored, and insured in accordance with the Contract Documents and reflected in the Schedule of Values.
- E.** Estimated quantities shall be subject to the Owner's review and judgment.
- F.** Retainage shall be withheld from progress payments in accordance with the requirements of the Contract Documents and the OSU General Conditions.
- G.** Applications for Payment shall reflect Work completed in accordance with the approved Schedule of Values and shall include supporting documentation required by the Owner.

1.04 EARLY PURCHASE AND PAYMENT OF MATERIALS AND EQUIPMENT

- A.** Order materials and equipment requiring a long lead or waiting time early so as not to delay progress of the Work.
- B.** The Contractor will be reimbursed for early order materials or equipment upon receipt and verification of quality and quantity against submittals and shipping documents by the Owner's Authorized Representative.
- C.** Receipt shall be to the job site or stored at Owner's other premises in an orderly and safe manner, secured from normal weather damage.
- D.** Security remains the responsibility of the Contractor.
- E.** Early purchase of materials shall not relieve the Contractor of responsibility for storage, protection, and coordination of installation in accordance with the Contract Documents.

END OF SECTION

CONTRACT PAYMENT REQUEST

DATE: _____

TO: University Financial Services
Oregon State University
850 Southwest 35th Street
Corvallis, Oregon 97333
FacServContracts@oregonstate.edu

Payment Request Number _____ Contract Number _____ Period from _____ to _____

Project: _____

Original Contract Amount \$ _____

Change Orders (Net Amount) \$ _____

Contract Total to Date \$ _____

Total Completed and Stored to Date \$ _____

Less Retainage (5%), if applicable \$ _____

Total Earned, Less Retainage (if applicable) \$ _____

Net Amount Due this Request \$ _____

ITB 2026-021520 – Soap Creek Ranch Bridge Replacement
April 2026

Notice of Extended Payment Provision
The Contract will allow Owner to make:

- 1. Progress payments no later than 30 days after the date of receipt of an approved Application for Payment.
- 2. Final payment of all remaining amounts no later than 30 days after the date the Owner approved all Work.

The undersigned Contractor certifies that, to the best of their knowledge, information, and belief, the Work covered by this request has been completed in accordance with the Contract Documents, that all amounts have been paid for Work for which previous applications for Payment were issued and payments received from the Owner, and that the amount shown herein is now due.

Contractor: _____

By: _____ Date: _____

Federal Tax ID Number: _____

Address: _____

- 1. Progress payments no later than 30 days after the date of receipt of an approved Application for Payment.
- 2. Final payment of all remaining amounts no later than 30 days after the date the Owner approved all Work.

CONTINUATION SHEET

NOTES:

Amounts are stated to the nearest penny.
 Use Column I on Contracts where variable retainage for line items may apply, or if retainage is required.
 Change Orders are usually listed as the last items of the basic schedule.

Project Name: _____

Application No.: _____

Date: _____

Project No.: _____

A	B	C	D		E	F	G	H	I	J
Item No.	Description of Work	Schedule Value	Work Completed		Materials Presently Stored (Not in D or E)	TOTAL Completed & Stored (D+E+F)	% Completed (G/C)	Balance to Finish (C-G)	Retainage	Current Payment Due (E-I)
			From Previous Applications	This Period						
TOTALS										

ITB 2026-021520 – Soap Creek Ranch Bridge Replacement
 April 2026
 Notice of Extended Payment Provision
 The Contract will allow Owner to make:
 1. Progress payments no later than 30 days after the date of receipt of an approved Application for Payment.
 2. Final payment of all remaining amounts no later than 30 days after the date the Owner approved all Work.

SECTION 01 25 00

PRODUCT SUBSTITUTION PROCEDURES

PART 1 GENERAL

1.01 SECTION INCLUDES

- A.** General administrative and procedural requirements for the Work in relation to substitutions and product options.
- B.** Related Work Specified Elsewhere:
 - 1.** Solicitation Document.
 - 2.** OSU General Conditions.

1.02 REQUESTS FOR SUBSTITUTIONS

- A.** Requests for substitution of products in place of those specified shall be in accordance with the Solicitation Documents and as specified herein.
- B.** Approval of any substitution is solely at the discretion of the Owner. The Owner's decision regarding substitutions is final.

1.03 CONTRACTOR'S RESPONSIBILITIES

- A.** Investigate proposed products and determine that they are equal to or superior in function, performance, reliability, quality, and general configuration to the products specified.
- B.** Provide same guarantee for accepted substitutions as for products specified.
- C.** Coordinate installation of accepted substitutions into the Work, making such changes as may be required for the Work to be complete in all respects.
- D.** All costs associated with evaluation, coordination, redesign, or modification of the Work resulting from a proposed substitution shall be borne by the Contractor.

1.04 SUBSTITUTIONS DURING BIDDING

- A.** Submit one electronic copy of the following information with each request to the Contract Administrator:
- 1.** Substitution request form provided below.
 - 2.** Comparison of proposed substitution with product, material or system specified.
 - 3.** Complete data, substantiating compliance of proposed substitution with the Contract Documents.
 - 4.** Test numbers and supporting reports, indicating compliance with referenced standards.
 - 5.** Evidence that warranty requirements are acceptable.
 - 6.** Details indicating specific deviations proposed for the substitution.
 - 7.** Reference and applicable Specification sections.
 - 8.** Applicable product samples.
- B.** All substitution requests shall be received by the Contract Administrator prior to the deadline for questions as identified in the Solicitation Document. Requests received after this date may not be considered. Requests received by anyone other than the Contract Administrator may not be considered.

1.05 SUBSTITUTIONS DURING CONSTRUCTION

- A.** Substitutions will be considered after execution of the Contract only for cause. Contractor shall submit the Substitution Request Form provided herein to the Owner's Authorized Representative and the Design Professional through a Request for Information (RFI).

- B.** One or more of the following conditions must be documented in any such request:
 - 1.** Required for compliance with final interpretation of code or insurance requirements.
 - 2.** Required due to unavailability of a specified product.
 - 3.** Required because of the inability of the specified product to perform properly or to fit in the designated space.
 - 4.** Substitution would be substantially in the best interest of the Owner in terms of cost, time, or other considerations. All cost savings resulting from substitutions during construction shall be returned to the Owner and all cost increases associated with the substitution shall be borne by the Contractor.
- C.** Approval of a substitution during construction shall not relieve the Contractor of responsibility for compliance with the Contract Documents or for the performance of the substituted product.

1.06 SUBSTITUTIONS NOT PERMITTED

- A.** If implied on submittals without first requesting and receiving written approval.
- B.** If acceptance will require substantial revision of the Contract Documents.

1.07 ACCEPTANCE

- A.** Accepted substitutions do not change the Work of the Contract unless documented in the Contract Documents. A substitution must be documented and incorporated into the Work by Addendum, Change Order, Construction Change Directive, Supplemental Instruction, or similar written instrument issued in accordance with the Contract Documents.

END OF SECTION

SECTION 01 31 19
PROJECT MEETINGS

PART 1 GENERAL

1.01 PRE-CONSTRUCTION MEETING

- A. Design Professional, Contractor, and Owner will meet prior to the start of the Work after issuance of the Notice to Proceed to discuss the following topics and any other matters relevant to the Project. The Contractor shall prepare an agenda for the Owner's review and comment at least one (1) week prior to the meeting and shall revise the agenda prior to the meeting as necessary.
1. Schedule of Values prepared in accordance with the requirements of the Contract Documents and arranged as directed by the Owner.
 2. List of sub-contractors.
 3. Monthly payment procedures and requirements for Applications for Payment in accordance with the Contract Documents.
 4. Early purchase of, and/or lead time requirements for material and equipment/prepurchase of equipment.
 5. Change Order process.
 6. Other Contracts processes (i.e. retention, close-out, etc.).
 7. Labor provisions and prevailing wage requirements applicable to the Work.
 8. Permit status, environmental protection requirements, erosion control measures, and other regulatory compliance obligations.
 9. Project Limits/Portion of site to be occupied by construction.
 10. Parking/Staging areas.
 11. Use of site, maintenance of access, temporary facilities, safety and background checks (if applicable).
 12. Coordination procedures and separate contracts.
 13. Tobacco free campus requirements.
 14. Owner access during construction.
 15. Material submittals/deferred submittals.
 16. Review of Contract Documents, accessibility requirements, and applicable design or construction standards.
 17. Progress schedules.

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18. Critical Work sequencing.
 19. Safety and emergency procedures/24-hour contact numbers.
 20. Security procedures.
 21. Hazardous materials.
 22. Progress meetings.
 23. Special Inspection and Testing, Design Professional Observation and any other inspections.
- B.** The Pre-Construction Meeting shall be scheduled by the Owner after issuance of the Notice to Proceed and prior to commencement of on-site Work.
- C.** Location of Meeting: Project site, or otherwise specified by Owner.
- D.** The Contractor shall prepare and distribute meeting minutes to all attendees and affected parties.

1.02 PROGRESS MEETINGS

- A.** The Contractor shall schedule and administer progress meetings and shall:
1. Prepare agendas.
 2. Schedule progress meetings, frequency, time and day to be determined during pre-construction meeting.
 3. Prepare and distribute updated project schedules and two-week to four-week look-ahead schedules as agreed during the Pre-Construction Meeting.
 4. Make physical arrangements for and preside at meetings.
 5. Record minutes and include decisions.
 6. Distribute copies of meeting minutes to participants within four (4) calendar days after each meeting.
- B.** Location of Meetings: Project Site, unless otherwise specified by Owner.
- C.** Progress meetings shall address project coordination, schedule status, safety issues, environmental protection measures, site access coordination, and other matters affecting completion of the Work.

- D. Attendance:
 - 1. The Owner or Owner’s Authorized Representative.
 - 2. Contractor.
 - 3. Subcontractors affected by agenda.
 - 4. Design Professional as necessary.
 - 5. Others as necessary.
- E. Meetings shall be conducted to coordinate the Work with ongoing Owner operations at the Soap Creek Ranch property and to maintain safe access to adjacent operational areas.
- F. Minimum Agenda:
 - 1. Review and approve minutes from previous meeting.
 - 2. Review Work progress since previous meeting.
 - 3. Discuss field observations, and problems.
 - 4. Review delivery schedules, construction schedule, and identify problems which impede planned progress.
 - 5. Review proposed changes.
 - 6. Material submittals.
 - 7. Note all new subcontractors performing Work at the job site.
 - 8. Other items as necessary (i.e. budget, safety, start-up, etc.).

1.03 PRE-INSTALLATION MEETINGS

- A. Technical specification sections shall identify required pre-installation meetings for specific portions of the Work when such meetings are necessary.
- B. Contractor to prepare agenda for Owner’s review and comment at least 1 week prior to the meeting.
- C. Contractor to revise agenda prior to meeting as needed.
- D. The Contractor shall prepare and distribute meeting minutes to attendees and affected parties.

END OF SECTION

SECTION 01 33 23

SHOP DRAWINGS, PRODUCT DATA, SAMPLES

PART 1 GENERAL

1.01 SECTION INCLUDES

- A.** Submit to the Owner and Design Professional shop drawings, samples, and product data (such as manufacturer's standard schematic drawings and other literature) when required by individual Specifications sections.
- B.** Related Work Specified Elsewhere.
 - 1.** OSU General Conditions.
- C.** Submittals are required only to the extent specified in the Contract Documents or reasonably necessary for the Owner and Design Professional to verify compliance with the Contract Documents.

1.02 SUBMITTAL SCHEDULING

- A.** Submittal Schedule: Submit to the Owner and Design Professional a schedule for all submittals in tabular format. The submittal schedule shall be approved by the Design Professional.
 - 1.** Submit at the same time as the initial construction schedule.
 - 2.** Coordinate with Contractor's construction schedule and schedule of values.
 - 3.** Arrange information to include:
 - a.** Specification number and title.
 - b.** Scheduled date for initial submittal.
 - c.** Date review comments to be returned.
 - d.** Date for one additional revised submittal issuance.
 - e.** Submittal category (for review or for information); description of item of work covered; and role and name of subcontractor.
- B.** Submittals to be reviewed by the Owner and Design Professional shall be submitted to the Owner at least twenty (20) calendar days before the date each is required for fabrication or installation unless stated differently in the Contract Documents.
- C.** Submittals to be reviewed by the Owner's property insurance carrier shall be submitted to the Owner's Project Manager as directed in individual Specification Sections.

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- D. Submittals involving substitution requests or other modifications requiring review by the Owner and/or the Design Professional shall be submitted to the Owner and Design Professional through a Request for Information (RFI).
- E. The Contractor shall coordinate all submittals with procurement, fabrication, delivery, and installation activities so that review time does not delay the Work.

1.03 SUBMITTAL CONTENT AND FORMAT

- A. General Requirements:
 - 1. Shop Drawings: Submit in electronic format.
 - 2. Product Data: Submit electronically.
 - 3. Samples: Submit the number and type stated in each Specification Section. Submit a minimum of three sets of color samples where color selection is required.
 - 4. Submittals shall include:
 - a. Date of submittal, revision dates, and requested return date.
 - b. Project title and OSU project number.
 - c. The names of the Contractor, subcontractor, supplier, and manufacturer.
 - d. Identification of product or material, with Specification Section number.
 - e. Relation to adjacent critical features of work or materials.
 - f. Field dimensions, clearly identified as such.
 - g. Applicable standards, such as ASTM number or Federal Specification.
 - h. Identification of deviations from Contract Documents, and for products accompanied by Substitution request as required by Section 01 25 00.
 - i. Provide space for Contractor and Design Professional review stamps.

- j.** Contractor’s stamp legibly signed, essentially as follows:

 - 1) “The undersigned, acting on behalf of the Contractor, certifies that this submittal has been reviewed and is approved; products have been verified as being as specified, field measurements and field construction criteria have been or will be coordinated, and the submittal is in compliance with Contract Documents.”
 - k.** Each submittal shall clearly identify the specific product, material, equipment, or system being submitted for review.
- 5.** Re-submission Requirements:

 - a.** Revise initial drawings as required and resubmit as specified for initial submittal.
 - b.** Indicate on drawings any changes which have been made other than those requested by the Owner or Design Professional.
- 6.** The Owner and/or Design Professional may return without review any submittal not meeting the requirements listed above.
- 7.** The Contractor shall review, approve, and coordinate each submittal prior to submission to the Owner and Design Professional.
- 8.** Schedule submittals to expedite the Project, and coordinate submission of related items.

 - a.** For each submittal for review, allow fourteen (14) calendar days for review and comments for each review.
 - b.** Submittals received after 3:00 PM PDT will be considered as having been received on the following day.
 - c.** Submittals received after 3:00 PM PDT on a Friday will be considered as having been received on the following Monday or next regular business day.

B. Shop Drawings:

1. Present data in a clear and thorough manner.
2. Details within the submittals shall be identified by reference to sheet and detail.
3. Schedule or room numbers shown on Contract Documents.
4. Minimum sheet size: 8 ½ x 11 inches.
5. Minimum font size: 10 points.

C. Product Data:

1. Manufacturer's catalog sheets, brochures, diagrams, schedules, performance charts, illustrations and other standard descriptive data:
 - a. Clearly mark each copy to identify pertinent product or models.
 - b. Show dimensions, weights, and clearances required.
 - c. Show performance data consisting of capabilities, ROM, KW, pressure drops, design characteristics and consumption; conforming as closely as possible to the test methods referenced in the Plans and Specifications.
 - d. Show performance data consisting of capabilities, ROM, KW, pressure drops, design characteristics and consumption; conforming as closely as possible to the test methods referenced in the Plans and Specifications.
2. Manufacturer's standard schematic drawings and diagrams:
 - a. Modify to delete information which is not applicable.
 - b. Supplement standard information to provide information specifically applicable to the Work.
3. Product data submittals shall clearly indicate only the items proposed for use on the Project.

D. Samples:

1. Ensure that samples are of sufficient size to indicate the general visual effect or color.
2. Where samples must show a range of color, texture, finish, graining, or other property, submit sets of pairs illustrating the full scope of this range.

3. One (1) sample or one (1) set of approved samples will be retained by the Design Professional, and one (1) set of approved samples shall be retained on-site by the Contractor. Final Work will be compared to the approved samples.

1.04 QUALITY ASSURANCE

- A. Process submittals in ample time for review, as applicable, so as to not delay the Work.

1.05 DEFINITIONS

- A. The Design Professional will mark reviewed materials as follows:
 1. "Approved" or "No Exception Taken," which means fabrication, manufacture and/or installation may proceed.
 2. "Approved as Noted" or "Make Revisions Noted," which means fabrication, manufacture and/or installation may proceed with revisions as noted.
 - a. At Contractor's option, submit correct item, with review notations acknowledge and incorporated.
 3. "Revise and Resubmit," which means that fabrication, manufacture and/or installation may not proceed.
 4. "Rejected," which means do not proceed; make arrangements for the review of the proposed Work with the Design Professional as soon as possible, or resubmit item complying with requirements of Contract Documents.
 5. "Not Required to be Reviewed" means that submittal is not requested or item is not specified under Contract Documents. Includes items that are Contractor Means and Methods.

1.06 PROCESSING

- A.** Contractor shall review submittals, make necessary corrections, and become familiar with the content of the submittals.
- B.** Contractor shall mark each item with Contractor's stamp.
- C.** Contractor shall accompany submittals with a transmittal letter bearing the date, project name, Contractor's name, number of items, and other pertinent dates.
- D.** One copy of each reviewed submittal shall be kept on the job site at all times.

END OF SECTION

1. Progress payments no later than 30 days after the date of receipt of an approved Application for Payment.
2. Final payment of all remaining amounts no later than 30 days after the date the Owner approved all Work.

SECTION 01 42 13

ABBREVIATIONS AND SYMBOLS

PART 1 GENERAL

- 1.01** If not defined in the Construction/Contract Document drawing set, words which may be found elsewhere in the Construction/Contract Documents are abbreviated in accordance with the standards set forth below.
- 1.02** Abbreviations listed in this Section are provided for convenience in interpreting Drawings and Specifications. If a conflict occurs between an abbreviation definition in this Section and a defined term contained in the Contract Documents, the defined term in the Contract Documents shall govern.
- 1.03** Where symbols or abbreviations differ between Drawings and this Section, the symbols or abbreviations used in the Drawings shall govern for interpretation of those Drawings.

(N)	new	BLDG	building
ABV	above	BLKG	blocking
AC	asphaltic concrete	BM	bench mark
ACT	acoustical ceiling tile	BO	bottom of
AD	area drain	BOT	bottom
ADD	addendum	BOW	bottom of wall
ADD'L	additional	BRZ	bronze
ADH	adhesive	BW	bridge width
ADJ	adjustable	CAB	cabinet/cabinetry
AFF	above finish floor	CB	catch basin
AGG	aggregate	CEM	cement
AHU	air handling unit	CF	cubic foot
AL	aluminum	CFOI	contractor furnished owner installed
ALLOW	allowable	CH	ceiling height
ALT	alternate	CI	cast iron
ANOD	anodized	CIP	cast in place
AP	access panel	CJ	control joint
ARCH	architectural	CKBD	chalkboard
ASPH	asphalt	CL	center line
AUTO	automatic	CLG	ceiling
AV	audio visual	CLR	clearance
AVE	avenue	CM	construction manager
AWP	acoustical wall panel	CMT	ceramic mosaic tile
BF	bottom of footing	CMU	concrete masonry unit
BIT	bituminous	CNTR	counter flashing

COL	column	DWR	drawer
COM	communications	E	east
CONC	concrete	EA	each
COND	condition	EB	expansion bolt
CONN	connection	EF	each face
CONST	construction	EJ	expansion joint
CONT	continuous or continue	EL/ELEV	elevation
CONTR	contractor	ELEC	electrical
CORR	corridor	EMBED	embedment
CPT	carpet	EMER	emergency
CRS	course	ENCL	enclosure
CS	countersink	ENGR	engineer
CSMT	casement	EO	edge of
CT	ceramic tile	EOP	edge of pavement
CTR	center	EP	electrical panel board
CUH	cabinet unit heater	EQ	equal
CVG	clear vertical grain	EQUIP	equipment
CW	cold water	EST	estimate
CWT	ceramic wall tile	EW	each way
CY	cubic yard	EWC	electric water cooler
D	depth	EXH	exhaust
DBL	double	EXIST	existing
DEMO	demolish demolition	EXP	exposed
DEP	depressed	EXT	exterior
DET	detail	FA	fire alarm
DF	drinking fountain	FAS	fasten fastener
DIA	diameter	FBD	fiberboard
DIAG	diagonal	FBT	finished blowing temperature
DIM	dimension	FD	floor drain fire damper
DIM PT	dimension point	FDN	foundation
DISP	dispenser	FE	fire extinguisher
DIV	division	FEC	fire extinguisher cabinet
DL	dead load	FF	finished floor
DMT	demountable	FFE	finish floor elevation
DN	down	FFN	factory finish
DP	dampproofing	FGL	fiberglass
DR	door	FHMS	flathead machine screw
DS	downspout	FHWS	flathead wood screw
DT	drain tile	FIN	finished
DTL	detail	FLASH	flashing
DW	dumbwaiter	FLCO	floor cleanout
DWG	drawings	FLR	flooring

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FLUOR	fluorescent	ID	inside diameter
			identification
FOC	face of concrete	IN	inch
FOF	face of finish	INCIN	incinerator
FOIC	furnished by owner installed by contractor	INCL	include
FOIO	furnished by owner installed by owner	INSUL	insulation
FOM	face of masonry	INT	interior
FP	fireproofing flash point	INV	invert
FPHB	freeze proof hose bib	JAN	janitor
FR	fire resistive or fire rated	JB	junction box
FRM	frame framing	JC	janitors closet
FS	full size	JT	joint
FSS	finished structural slab	KCP	keenes cement plaster
FT	foot feet	KD	kiln dried
FTG	footing	KO	knockout
FTS	finished topping slab	KP	kick plate
FURR	furring	L	length
FUT	future	LAB	laboratory
GA	gage gauge	LAM	laminate
GALV	galvanized	LAV	lavatory
GB	grab bar or gypsum board	LBS	pounds
GC	general contractor	LF	linear foot
GI	galvanized iron	LH	left hand
GL	glass glazing	LL	live load
GLS	glass resin wall surfacing	LONGIT	longitudinal
GND	ground	LP	low point
GWB	gypsum wall board	LT	light
GYP	gypsum	LVR	louver
HB	hose bibb	LW	lightweight
HBD	hardboard	MATL	material
HC	hollow core	MAX	maximum
HD	heavy duty	MB	machine bolt
HDR	header	MECH	mechanical
HDW	hardware	MEMB	membrane
HM	hollow metal	MFR	manufacturer
HORIZ	horizontal	MH	manhole
HP	high point	MIN	minimum minute
HR	hour	MISC	miscellaneous
HT	height	MO	masonry opening
HTG	heating	MO#	model number
HVAC	heating ventilating air conditioning	MOD	modular
HWD	hardwood	MPH	miles per hour
HWH	hot water heater	MS	machine screw

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MTD	mounted	PSF	pounds per square foot
MTL	metal	PSI	pounds per square inch
MULL	mullion	PT	point pressure treated
MWP	membrane waterproofing	PTD	paper towel dispenser
N	north	PTN	partition
NA	not applicable	PVC	polyvinyl chloride
NAT	natural finish	PWD	plywood
NIC	not in contract	QT	quarry tile
NO	number	QTR	quarter
NOM	nominal	R	riser
NTS	not to scale	RA	return air
OA	overall	RAD	radius
OBS	obscure	RB	resilient base
OC	on center	RCP	reflected ceiling plan
OD	outside diameter dimension	RD	roof drain
OF	overflow	REC	recessed
OFCI	owner furnished contractor installed	REF	reference
OFOI	owner furnished owner installed	REFR	refrigerator
OHMS	ovalhead machine screw	REINF	reinforcing
OHWS	ovalhead wood screw	REQ	required
OPER	operable	RES/RESIL	resilient
OPNG	opening	RET'G	retaining
OPP	opposite	REV	revision
OPT	optional	RFG	roofing
OVHD	overhead	RFL	reflected
OZ	ounce	RH	right hand
P	painted	RM	room
PAV	paving	RO	rough opening
PB	push button	ROW	right of way
PCC	portland cement concrete	RR	restroom
PCF	pounds per cubic foot	RSF	resilient sheet flooring
PERF	perforated	RTU	roof top unit
PGL	profile grade line	S	south
PL	plate property line	SB	splashblock
PLAM	plastic laminate	SC	solid core
PLAS	plaster	SCHED	schedule
PLMB	plumbing	SD	soap dispenser
PNL	panel	SECT	section
PP	push plate	SF	square feet
PR	pair	SH	shelf shelving
PREFIN	prefinished	SHT	sheet
PRELIM	preliminary	SHTHG	sheathing
PREP	prepare	SHWR	shower

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SIM	similar	TYP	typical
SL	sleeve	UNFIN	unfinished
SND	sanitary napkin disposal	UNO	unless noted otherwise
SOG	slab on grade	UR	urinal
SPEC	specifications	V	voltage
SPKR	speaker	VAT	vinyl asbestos tile
SQ	square	VB	vapor barrier
SS	storm sewer	VCT	vinyl composition tile
ST	stone	VENT	ventilation
STC	sound transmission class	VERT	vertical
STD	standard	VEST	vestibule
STL	steel	VG	vertical grain
STOR	storage	VIF	verify in field
STR	street	VNR	vener
STRUCT	structural	VWC	vinyl wall covering
SUPP	supplement	W	width or west
SUPT	support	W/	with
SURF	surface	W/O	without
SUSP	suspended	WC	water closet
SV	sheet vinyl	WD	wood
SYM	symmetrical	WDB	wood base
SYS	system	WDW	window
T	tread	WGL	wire glass
TB	towel bar	WH	water heater
TBM	top bench mark	WNS	wainscot
TC	top of curb	WP	waterproofing
TEL	telephone	WR	water resistant
TEMP	tempered	WRB	water resistant barrier
THK	thickness	WS	waterstop
THRU	through	WSCT	wainscot
TKBD	tackboard	WT	weight
TO	top of	WTR	water
TOC	top of concrete	WW	window wall
TOL	tolerance	WWC	wood wall covering
TOS	top of steel	WWF	woven wire fabric
TOW	top of wall		
TP	top of paving		
TPD	toilet paper dispenser		
TRANS	transverse		
TS	top of slab		
TV	television		
TW	top of wall		

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1.04 If not defined in the Construction/Contract Document drawing set, symbols which may be found elsewhere in the Construction/Contract Documents are in accordance with the standards set forth below:

&	and
∠	angle
@	at
∅	diameter, round
"	inches
X	by (as in 2 by 4)
'	feet
⊥	perpendicular
/	per
%	percent
#	number, pound

END OF SECTION

1. Progress payments no later than 30 days after the date of receipt of an approved Application for Payment.
2. Final payment of all remaining amounts no later than 30 days after the date the Owner approved all Work.

SECTION 01 42 16

DEFINITIONS

PART 1 GENERAL

1.01 SECTION INCLUDES

- A.** Words used in the Contract Documents that are not otherwise defined in the Oregon State University General Conditions for Reserve Contracts shall have the meanings set forth below. These definitions supplement, and do not modify or supersede, definitions contained in the Contract Documents.
- B.** Definitions contained in this Section apply only to the Technical Specifications and Division 1 Requirements and shall not alter or replace definitions contained in the Oregon State University General Conditions for Reserve Contracts. In the event of a conflict, the definitions contained in the General Conditions shall govern.

1. Approve:

Where used in conjunction with the Design Professional's response to submittals, requests, applications, inquiries, reports, or claims by the Contractor, the term "approved" shall be limited to the Design Professional's responsibilities and duties as established in the Contract Documents. Approval by the Design Professional shall not be interpreted as a waiver of Contract requirements or as relieving the Contractor of responsibility for compliance with the Contract Documents.

2. As Detailed, As Shown:

Where the terms "as detailed," "as shown," or words of similar meaning are used, they refer to the Drawings accompanying the Specifications unless otherwise stated in the Contract Documents.

3. As Directed, As Required, As Authorized, As Reviewed, As Accepted:

Where the terms "as directed," "as required," "as authorized," "as reviewed," or "as accepted," or similar terms are used, they refer to direction, requirement, authorization, review, or acceptance by the Design Professional acting within the authority established in the Contract Documents, unless otherwise stated.

4. As Indicated:

Where the term "as indicated" is used, it refers to the Drawings and Specifications unless otherwise stated in the Contract Documents.

5. Directed, Requested, etc.:

Terms such as “directed,” “requested,” “authorized,” or “selected” shall be understood as direction, request, authorization, or selection by the Design Professional acting within the authority established in the Contract Documents and shall not be interpreted to transfer responsibility for construction means, methods, techniques, sequences, or procedures from the Contractor.

6. Furnish:

Except as otherwise defined in the Contract Documents, the term “furnish” means to supply and deliver to the Project site, ready for unloading, unpacking, assembly, installation, or similar operations as applicable.

7. Install:

Except as otherwise defined in the Contract Documents, the term “install” describes operations at the Project site including unloading, unpacking, assembly, erection, placing, anchoring, applying, working to dimension, finishing, curing, protecting, cleaning, and similar operations as applicable.

8. Installer:

The term “Installer” means the entity (person or firm) engaged by the Contractor, a Subcontractor, or a lower-tier subcontractor to perform a particular portion of the Work at the Project site, including installation, erection, application, or similar required operations. Installers shall be experienced and qualified to perform the Work assigned.

9. Provide:

Except as otherwise defined in the Contract Documents, the term “provide” means to furnish and install complete and ready for the intended use.

1.02 INTERPRETATION

- A.** Terms used in these Specifications that are defined in the Contract Documents shall have the meanings assigned in those documents.
- B.** In the event of inconsistency between definitions contained in this Section and those contained in the Oregon State University General Conditions for Reserve Contracts, the definitions contained in the General Conditions shall control.

END OF SECTION

SECTION 01 42 19

REFERENCE STANDARDS

PART 1 GENERAL

1.01 SECTION INCLUDES

- A.** Quality Assurance.
- B.** Location of References.
- C.** Schedule of References.

1.02 QUALITY ASSURANCE

- A.** For products or quality of work specified by association, trade, or federal standards, comply with requirements of the standard, except when more rigid requirements are specified or are required by applicable codes.
- B.** Conform to reference standard by date of issue current on date of Contract Documents.
- C.** General Applicability of Standards: Referenced standards apply only to the extent specifically identified in the Contract Documents. Where requirements of referenced standards conflict with the Contract Documents, the more stringent requirement of the Contract Documents shall govern.
- D.** Referenced standards are incorporated into the Contract Documents only to the extent specifically cited in the Specifications or Drawings.
- E.** Individual sections indicate which codes and standards the Contractor must keep at the project site, available for reference.

F. Contract Document Precedence: Where referenced standards conflict with requirements of the Contract Documents, the following order of precedence shall apply:

1. Oregon State University General Conditions for Reserve Contracts.
2. Solicitation Documents.
3. Technical Specifications and Division 1 Requirements.
4. Reserve Contract Supplement and Amendments or Change Orders.
5. Drawings.
6. Pricing Documents.

1.03 SCHEDULE OF REFERENCED ASSOCIATIONS

AIA	American Institute of Architects https://www.aia.org
AISC	American Institute of Steel Construction https://www.aisc.org
AISI	American Iron and Steel Institute https://www.steel.org
ANSI	American National Standards Institute https://www.ansi.org
APA	American Plywood Association https://www.apawood.org
ASHRAE	American Society of Heating, Refrigerating, and Air Conditioning Engineers https://www.ashrae.org
ASTM	ASTM International (formerly American Society for Testing and Materials) https://www.astm.org
AWPA	American Wood Protection Association https://www.awpa.com
AWS	American Welding Society https://www.aws.org

BIA	Masonry Institute of America https://www.masonryinstitute.org
BOLI	Oregon Bureau of Labor and Industries https://www.oregon.gov/boli
CCB	Construction Contractors Board https://www.oregon.gov/ccb
CDA	Copper Development Association https://www.copper.org
CISPI	Cast Iron Soil Pipe Institute https://www.cispi.org
CSI	Construction Specification Institute https://www.csiresources.org
DEQ	Department of Environmental Quality (Oregon) https://www.oregon.gov/deq
DHI	Door and Hardware Institute https://www.dhi.org
EPA	U.S. Environmental Protection Agency https://www.epa.gov
FM	Factory Mutual System https://www.fmglobal.com
FS	Federal Specification – GSA (WFSIS) https://fedspecs.gsa.gov/s/federal-specifications
ICC	International Code Council https://www.iccsafe.org
ICBO	International Conference of Building Officials (legacy reference; see ICC) https://www.iccsafe.org
IRS	Internal Revenue Service https://www.irs.gov

ITB 2026-021520 – Soap Creek Ranch Bridge Replacement
April 2026

Notice of Extended Payment Provision
The Contract will allow Owner to make:

1. Progress payments no later than 30 days after the date of receipt of an approved Application for Payment.
2. Final payment of all remaining amounts no later than 30 days after the date the Owner approved all Work.

ISA	International Society of Automation https://www.isa.org
NAAMM	National Association of Architectural Metal Manufacturers https://www.naamm.org
NEMA	National Electrical Manufacturers Association https://www.nema.org
NESC	National Electrical Safety Code https://standards.ieee.org
NFPA	National Fire Protection Association https://www.nfpa.org
NRCA	National Roofing Contractors' Association https://www.nrca.net
OAR	Oregon Administrative Rules https://sos.oregon.gov/archives/Pages/oregon_administrative_rules.aspx
OESP	State of Oregon Electrical Specialty Code https://www.oregon.gov/bcd/codes-stand/pages/electrical.aspx
ORS	Oregon Revised Statutes https://www.oregonlegislature.gov/bills_laws/pages/ors.aspx
OSHA	Occupational Safety and Health Administration https://www.osha.gov
OSSC	Oregon Structural Specialty Code https://www.oregon.gov/bcd/codes-stand/pages/commercial-structures.aspx
PLIB	Pacific Lumber Inspection Bureau https://www.plib.org
PS	Product Standards https://www.trade.gov/product-standards
SDI	Steel Door Institute https://www.steeldoor.org

SMACNA	Sheet Metal and Air Conditioning Contractors' National Association https://www.smacna.org
SPRI	Single Ply Roofing Institute https://www.spri.org
SSPC	The Society for Protective Coatings https://www.sspc.org
SWRI	Sealing, Waterproofing and Restoration Institute https://www.swrionline.org
UBC	Uniform Building Code (See ICBO)
UFC	Uniform Fire Code https://www.nfpa.org
UL	Underwriters' Laboratories, Inc. https://www.ul.com
UMC	Uniform Mechanical Code https://www.iapmo.org
UPC	Uniform Plumbing Code https://www.iapmo.org
USDOT	Department of Transportation https://www.transportation.gov
WHL	Warnock Hersey Laboratories https://www.intertek.com
WWPA	Western Wood Products Association https://www.wwpa.org

1.04 REFERENCE STANDARDS

- A.** General: Comply with the provisions of the latest adopted versions of the publications listed below except where a specific edition is indicated in the Contract Documents or where superseded by applicable codes adopted by the State of Oregon.
- B.** American Concrete Institute (ACI):
 - 1 ACI 301 Specifications for Structural Concrete
- C.** American Institute of Steel Construction (AISC):
 - 1 AISC 341 Seismic Provisions for Structural Steel Buildings
 - 2 AISC 360 Specification for Structural Steel Buildings
- D.** American National Standards Institute (ANSI)/American Society for Nondestructive Testing (ASNT):
 - 1 ANSI/ASNT CP 189 1995
 - 2 ANSI/ASNT SNT TC 1A
- E.** American Society for Testing and Materials (ASTM). The following are specifically referenced for structural steel testing:
 - 1 ASTM A435 Standard Specification for Straight-Beam Ultrasonic Examination of Steel Plates
 - 2 ASTM A898 Standard Specification for Straight Beam Ultrasonic Examination of Rolled Steel Structural Shapes
 - 3 ASTM E114 Standard Practice for Ultrasonic Pulse-Echo Straight Beam Contact Testing
 - 4 ASTM E164 Standard Practice for Contact Examination of Weldments
 - 5 ASTM E329 Standard Specification for Agencies Engaged in Construction Inspection, Testing, or Special Inspection

6	ASTM E543	Standard Practice for Agencies Performing Non-destructive Testing
7	ASTM E587	Standard Practice for Ultrasonic Angle-Beam Contact Testing
8	ASTM E709	Standard Guide for Magnetic Particle Testing
9	ASTM E1212	Standard Practice for Establishing Quality Management Systems for Nondestructive Testing Agencies
10	ASTM E1444	Standard Practice for Magnetic Particle Testing

F. American Society for Testing and Materials (ASTM). The following are specifically referenced for concrete testing:

1	ASTM C31	Practice for Making and Curing Concrete Test Specimens in Field
2	ASTM C33	Specification of Concrete Aggregates
3	ASTM C39	Test Method for Compressive Strength of Cylindrical Concrete Specimens
4	ASTM C42	Test Method for Obtaining and Testing Drilled Cores and Sawed Beams of Concrete
5	ASTM C94	Specification for Ready-Mixed Concrete
6	ASTM C143	Test Method for Slump of Hydraulic Cement Concrete
7	ASTM C172	Practice for Sampling Freshly Mixed Concrete
8	ASTM C173	Test Method for Air Content of Freshly Mixed Concrete by Volumetric Method
9	ASTM C192	Standard Practice for Making and Curing Concrete Test Specimens in the Laboratory
10	ASTM C231	Test Method for Air Content of Freshly Mixed Concrete by the Pressure Method

- | | | |
|----|-----------|---|
| 11 | ASTM C597 | Test Method for Pulse Velocity Through Concrete |
| 12 | ASTM C803 | Test Method for Penetration Resistance of Hardened Concrete |
| 13 | ASTM C805 | Test Method for Rebound Number of Hardened Concrete |
- G.** American Welding Society (AWS):
- | | | |
|---|----------|--|
| 1 | AWS D1.1 | Structural Welding Code – Steel |
| 2 | AWS D1.8 | Structural Welding Code - Seismic Supplement |
- H.** Research Council on Structural Connections (RCSC):
- | | | |
|---|------|---|
| 1 | RCSC | Specification for Structural Joints Using High-Strength Bolts |
|---|------|---|

END OF SECTION

SECTION 01 45 00

QUALITY CONTROL

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Codes, regulations and permits.
- B. Procedures for quality control.

1.02 OWNER RESPONSIBILITIES

- A. Owner may employ and pay for services of an independent testing laboratory to perform inspection, sampling and testing as required by Authorities Having Jurisdiction (AHJ) or as otherwise required by the Contract Documents.
- B. Owner or Owner's Authorized Representative may provide on-site observation of the Work during construction.

1.03 CODES, REGULATIONS AND PERMITS

- A. All Work shall conform with the Oregon Structural Specialty Code (OSSC) based on the International Building Code (IBC), as amended by the State of Oregon Building Codes Division and the edition designated by the governing authority.
- B. Contractor shall comply with all applicable state and local construction codes.
- C. References to codes, Specifications and standards referred to in the Contract Documents shall mean the edition in effect as adopted by the Authority Having Jurisdiction at the time the Contract Documents are issued unless otherwise specifically identified in the Contract Documents.
- D. The Owner shall be responsible for Owner-obtained permits and associated Authority Having Jurisdiction plan review fees identified in the Contract Documents. The Contractor shall obtain and pay for all permits, licenses, notices, inspections, and associated fees required for performance of the Work unless specifically identified as the responsibility of the Owner.
 - 1. Contractor shall obtain permits required for the Work unless specifically identified as the responsibility of the Owner and shall comply with all permit requirements during performance of the Work.

- E. Contractor shall arrange and attend all required permit inspections and furnish evidence of approved AHJ inspection reports per Section 01 77 00.

1.04 QUALITY OF WORK

- A. The Work shall be performed in a good and workmanlike manner by workers skilled in their respective trades and in accordance with the requirements of the Contract Documents.
- B. All manufactured articles, materials, and equipment shall be applied, installed, connected, erected, used, cleaned and conditioned in accordance with manufacturer's directions unless otherwise specified.
- C. If the Contractor determines that Work cannot be performed in accordance with the Contract Documents or identifies discrepancies among the Contract Documents, the Contractor shall request written clarification from the Owner before proceeding with the affected Work.
- D. Failure to obtain clarification prior to proceeding with the Work may result in rejection of the Work by the Owner.
- E. Acceptance of any portion of the Work by the Owner shall not relieve the Contractor from responsibility for correcting Work that does not comply with the Contract Documents.

1.05 LAYOUT

- A. Be responsible for properly laying out the Work and for lines and measurements for the Work.
- B. Verify the figures shown on the Drawings before laying out the Work and report errors or discrepancies to the Owner before commencing the affected Work.
- C. All layout of accessible features shall comply with the more restrictive of OSU's Design & Construction Standards (Accessibility Design Practices for OSU) and most current ADA Standards for Accessible Design and the latest adopted edition of the Oregon Structural Specialty Code (OSSC).
- D. Strict compliance with maximum slope requirements is required. Work not complying with slope requirements shall be removed and replaced by the Contractor at no additional cost to the Owner.

1.06 SUPERVISION

- A. The Contractor shall maintain effective supervision on the project at all times Work is being performed.
- B. The Contractor shall designate a superintendent who shall remain assigned to the Project for the duration of the Work unless replacement is approved by the Owner. The superintendent shall attend the preconstruction conference.

1.07 INSPECTIONS AND TESTING

- A. Contractor shall notify the Owner's testing agency or the Authority Having Jurisdiction at least twenty-four (24) hours in advance of any required inspection or testing.
- B. Cooperate with laboratory personnel and/or inspectors, provide access to Work and furnish incidental equipment material and labor required for field testing and sample taking.
- C. Contractor shall provide safe access to the Work and shall furnish labor, equipment, and incidental materials necessary to facilitate inspection and testing.
- D. Inspection or testing performed by the Owner, the Owner's representative, or testing agencies does not relieve the Contractor of responsibility to perform the Work in accordance with the Contract Documents.

1.08 EVALUATION OF TESTS AND INSPECTIONS

- A. If results of tests or inspections indicate that the Work does not meet the requirements of the Contract Documents, that portion of the Work may be rejected by the Owner.

1.09 ADJUSTMENTS

- A.** Remove and replace rejected Work at Contractor's expense including costs of subsequent tests and inspections until Work meets requirements of Contract Documents.
- B.** The Owner reserves the right to perform additional testing or inspections as necessary to determine compliance with the Contract Documents.
- C.** Costs for such testing shall be the Owner's responsibility unless the testing indicates noncompliance with the Contract Documents, in which case the Contractor shall bear the cost of such testing.
- D.** Noncomplying Work shall be corrected and testing will be repeated until the Work complies with the Contract Documents.
- E.** Contractor will pay costs for retesting noncomplying Work.

END OF SECTION

SECTION 01 51 00

CONSTRUCTION FACILITIES AND TEMPORARY CONTROLS

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Section specifies requirements for temporary services and facilities, including utilities, construction and support facilities, security and protection.

1.02 REGULATORY AGENCY REQUIREMENTS

- A. Regulations: Comply with industry standards and applicable laws and regulations of Authorities having Jurisdiction (AHJ).
- B. Standards: Comply with NFPA Code 241, "Building Construction and Demolition Operations", ANSI-A10 Series standards for "Safety Requirements for Construction and Demolition".
- C. Electrical Service: Comply with NEMA, NEC, and UL standards and regulations for temporary electrical service; install service in compliance with the National Electrical Code (NFPA 70).
- D. Inspections of Temporary Utilities: Arrange for AHJ to inspect and test each temporary utility before use; obtain required certifications and permits if required.
- E. All temporary facilities and temporary utilities installed for the Work shall remain subject to inspection by the Owner and Authorities Having Jurisdiction at any time during the performance of the Work.

1.03 PROTECTION

- A. Protect sidewalks, asphalt paving, concrete, trees, shrubs, and lawn areas at all times from damage resulting from construction activities.
- B. Contractor shall document existing site conditions prior to beginning Work and shall be responsible for protection of existing facilities, utilities, and improvements within the Work limits.
- C. Prevent materials from clogging catch basins and yard drains; leave drains clean and in proper working condition.

- D.** Protect Existing Irrigation Systems:
- 1.** In the event damage occurs to an underground irrigation system as a direct result of a Contractor's activities, the Contractor shall repair/replace or be assessed a charge at the discretion of the Owner.
 - 2.** If repairs are to be made by the Contractor, the repairs will be inspected by the Owner's Authorized Representative prior to backfilling.
 - 3.** Any galvanized pipe that requires repair shall be repaired at a threaded coupling, not by use of a compression coupling.
- E.** Protect Existing Air Handling Systems:
- 1.** Contractor shall be responsible for protection of the existing air handling system at all times. This protection shall include:
 - a.** During site work or building demolition, prefilters shall be provided and maintained on all building outside air intakes at all times throughout the construction duration.
 - b.** During any interior work that may create dust in the interior space and adjacent corridor/hallways, air filters shall be provided and maintained on all affected air return and exhaust grilles. Where air flow in or out of the space is not required, all air duct openings shall be temporarily blanked off with plywood or sheet metal.
 - c.** Prior to starting any work, the Contractor shall record and submit to the Owner's Authorized Representative, pressure readings across all existing air handler air filter banks before installation of new prefilters.
 - d.** Upon completion of all Work affecting existing air handling systems, the Contractor shall remove all temporary filters, covers and associated parts and restore the system to its original operating condition unless otherwise stated elsewhere in the Contract Documents.

- F.** Clean, repair, resurface, or restore existing surfaces to their original, or better, condition, or completely replace such surfaces to match existing where damaged by construction operations.
- G.** Project Site security is the responsibility of the Contractor.
- H.** Construction Debris:
 - 1.** Debris shall not be allowed to remain around the project site during performance of Work but shall be disposed of as rapidly as it accumulates.
 - 2.** On completion of Work, the buildings and grounds shall be left in a condition that is equal to or better than original condition.
 - 3.** In case of failure to do so, the Owner may remove rubbish and charge the cost to the Contractor.
- I.** The Contractor shall maintain a safe jobsite environment for workers, the public, and the protection of Owner property.
- J.** The Contractor shall provide and maintain suitable barricades, shelters, lights, and warning devices during the progress of the Work; they shall meet the requirements of applicable building codes and OSHA regulations.

1.04 DRAINAGE

- A.** Verify that all rain drains in the construction areas are in working order and notify the Owner's Authorized Representative in writing of any rain drains that are plugged, prior to the start of the Work.
- B.** Commencement of Work shall constitute acknowledgment that all drains within the Work area are clear and in proper working order unless otherwise documented in writing to the Owner's Authorized Representative prior to commencement of Work.
- C.** All drains shall be left in a clean and proper working condition.

1.05 CONSTRUCTION PROJECT SAFETY FORM

- A.** Contractor shall submit to the Owner, prior to signing the Contract, the completed "Construction Project Safety Form", which is provided with instructions at the end of this Section. The completed form to include all required attachments.

1.06 TUNNEL ACCESS AND SAFETY

- A.** Access into OSU's Tunnel system is regulated. OSU Energy Center Co-Generation Engineers are instructed to deny any request for keys from any Contractor that cannot provide the required information below in writing to the Project Manager and OSU Energy Center Co-Generation Engineers:
- 1.** Names of ALL personnel entering tunnel. All personnel must have completed tunnel training in the last 12 months.
 - 2.** Project name, Purpose for entry, location entry will be made and why.
 - 3.** OSU Point of Contact (POC). If entry is requested by a Contractor or non-OSU person, they must provide an OSU POC.

1.07 TEMPORARY UTILITIES

- A.** Temporary Utilities:
- 1.** Prepare a schedule indicating dates for implementation and termination of each temporary utility.
 - 2.** At the earliest feasible time, when acceptable to the Owner, change over from use of temporary service to use of the permanent service.
- B.** Conditions of Use:
- 1.** Keep temporary services and facilities clean and neat in appearance.
 - 2.** Operate in a safe and efficient manner.
 - 3.** Take necessary fire prevention measures.
 - 4.** Do not overload facilities or permit them to interfere with progress.
 - 5.** Do not allow hazardous, dangerous or unsanitary conditions, or public nuisances to develop or persist on the site.

- C. Electrical Service:
 - 1. Service limited to 20-amp 120V circuits will be paid for by the Owner.
 - 2. Connection to the service shall be the responsibility of the Contractor, with the Owner's approval.
 - 3. Coordinate with the Owner's Authorized Representative.
- D. Water Service:
 - 1. Connection to the service shall be the responsibility of the Contractor, with the Owner's approval.
 - 2. Coordinate with the Owner's Authorized Representative.
- E. Temporary utilities and services shall not interfere with Owner operations and shall be installed and maintained in a manner that protects existing utilities and facilities.

1.08 TEMPORARY SUPPORT FACILITIES

- A. Temporary Sanitary Facilities:
 - 1. Provide and maintain an adequate number of facilities for the use of all persons employed on the Work during construction.
 - 2. Provide enclosed, weatherproof facilities with heat as required.
 - 3. Use of new or existing Owner's facilities will not be permitted.
- B. Temporary Heat and Ventilation:
 - 1. As necessary, provide temporary heat and ventilation required by construction activities, for curing or drying of completed installations or protection of installed construction from adverse effects of low temperatures or high humidity.
 - 2. Select safe equipment that will not have a harmful effect on completed installations or elements being installed.
 - 3. Coordinate ventilation requirements to produce the ambient condition required and minimize consumption of energy.
- C. Telephone Equipment: Provide communication capability at the project site for coordination of construction activities and emergency response.

- D.** Existing Services:
 - 1.** Do not interrupt any existing utility service without prior written authorization from the Owner's Authorized Representative.
 - 2.** Prior request and approval of the Owner's Representative will enable the Owner to shut down any utility required by the Work.
 - 3.** Contractor shall not shut down utilities.

1.09 TEMPORARY BARRIERS AND ENCLOSURES

- A.** Provide barriers and fencing to prevent unauthorized entry to construction areas and to protect existing facilities and adjacent properties from damage.
 - 1.** Provide tree protection as required by the AHJ, when applicable, prior to start of work.
 - 2.** Maintain and provide protection for lawn, shrubs and trees behind temporary barriers and fencing.
- B.** Provide Commercial grade chain link fence construction.
- C.** Provide 6-foot-high fence around construction site as directed by Owner's Authorized Representative; equip with vehicular and pedestrian gates with lock.
- D.** Exterior Closures: Provide temporary secured, weather-tight closures at exterior openings, to permit acceptable working conditions and protection of the Work.
- E.** Interior Closures:
 - 1.** Provide temporary floor to ceiling partitions (not plastic sheeting) and ceilings as required to separate work areas from Owner occupied areas, to prevent penetration of dust and moisture into Owner occupied areas, to reduce construction noise, and to prevent damage to existing materials and equipment.
 - 2.** Paint surfaces exposed to view from Owner occupied areas.

1.10 ODORS

- A. Work that causes excessive odors shall be performed only after coordination with the Owner's Authorized Representative. Filtering of air intakes to units may be required to prevent odors and vapors from entering the buildings.
- B. Contractor shall provide 7 days advance notice to the Owner's Authorized Representative in order for advance notice to be forwarded to building occupants. Work stoppage may occur if advance notification has not been coordinated or odors and vapors from the work are found to generate complaints from building occupants.

1.11 FIRE SAFETY

- A. Coordination with OSU Fire Alarm shop will be required for access to fire alarm panels, work adjacent to fire alarm panels or any other impacts on the fire alarm system.
- B. Ensure that required exit routes remain unobstructed while building is occupied.
- C. An emergency telephone shall be provided on site. Cellular telephone equipment is acceptable.
- D. Fire Suppression Equipment:
 - 1. Install and maintain temporary fire protection facilities of the types needed to protect against reasonably predictable and controllable fire losses. Comply with NFPA 10 "Standard for Portable Fire Extinguishers", and NFPA 241 "Standard for Safeguarding Construction, Alterations and Demolition Operations".
 - 2. Maintain equipment in working condition with current inspection certificate attached to each.
 - 3. Locate fire extinguishers where convenient and effective for their intended purpose, but not less than one extinguisher on each floor at or near each usable stairwell.
 - 4. Store combustible materials in containers in fire-safe locations.

5. Maintain unobstructed access to fire extinguishers, fire hydrants, temporary fire protection facilities, stairways, and other access routes for fighting fires.
6. Provide continual supervision of welding operations, combustion type temporary heating units, and similar sources of fire ignition.
7. When possible, relocate hot work to a designated hot work area.
8. If the materials or equipment cannot be relocated to a designated hot work area, use the least hazardous form of hot work that will get the job done and prepare the area properly.
9. Manage mobile hot work using the formal hot work permit system. (mentioned in the next bullet point and also a directive in the OSU Hot Work Safety Program).
10. Make sure both fire protection and hot work equipment work properly.
11. Train all personnel involved in hot work operations and activities so that they have the understanding, knowledge, and skills necessary to safely perform their jobs.

1.12 CONSTRUCTION AIDS

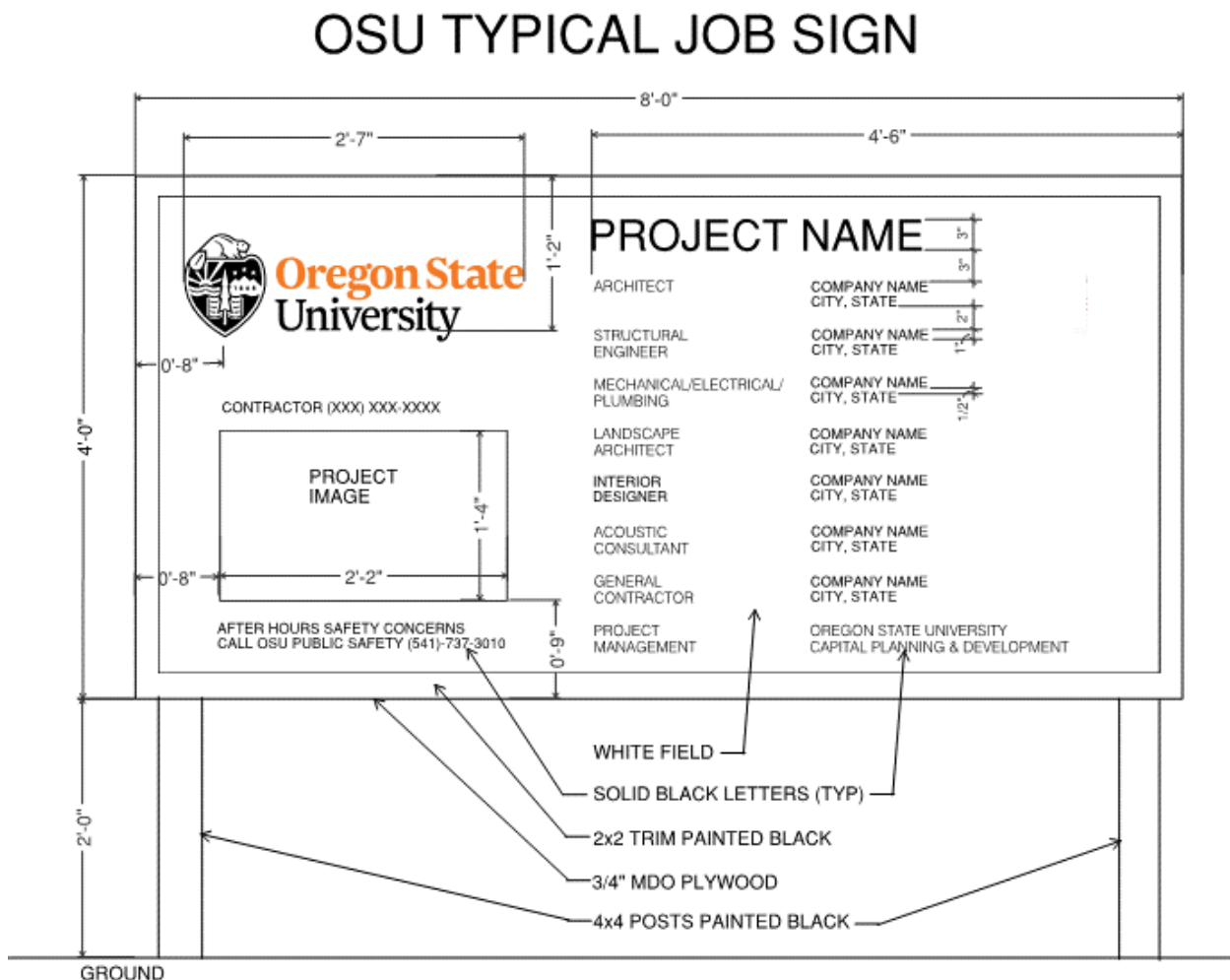
- A. Scaffolding: comply with applicable OSHA requirements.
- B. Material Handling Equipment:
 1. Provide necessary cranes, hoists, towers, or other lifting devices.
 2. Use only experienced operators.
 3. Remove equipment as soon as possible after task is ended.
 4. Coordinate placement of such equipment with Owner's Authorized Representative.
 5. Obtain required permits and meet requirement of governing authorities regarding applicable regulations.
- C. Materials or debris shall not be allowed to free fall from building.
- D. The use of chutes or conveyors must be approved by Owner.

1.13 TEMPORARY CONTROLS

- A.** Water Control:
 - 1. Maintain excavations free of water.
 - 2. Provide, operate, and maintain necessary pumping equipment.
- B.** Protection:
 - 1. Protect installed Work and provide special protection where specified in individual specification sections.
 - 2. Prohibit traffic or storage upon waterproofed or roofed surfaces.
- C.** Security:
 - 1. Provide security and facilities to protect Work and existing facilities and Owner's operations from unauthorized entry, vandalism, or theft.
 - 2. Coordinate operations with Owner's Authorized Representative.
- D.** Temporary Traffic Control /Pedestrian Accessibility:
 - 1. A continuous route for all pedestrians, including persons with disabilities and bicyclists, shall be maintained at all times. When existing pedestrian facilities are disrupted, closed, or relocated in a construction zone, temporary pedestrian facilities shall be provided.
 - 2. Temporary pedestrian facilities shall be safe and accessible. There should be no curbs or abrupt changes in grade that could cause tripping or be a barrier to wheelchair use.
 - 3. Signage shall be provided directing people to the temporary accessible route. The signage shall include the International Symbol of Accessibility.
 - 4. Contractors shall not block temporary walkways with vehicles, equipment, construction materials, signs, trash, or other objects that might prohibit pedestrian passage.
 - 5. Construction equipment and equipment operation must be separated from any open walkways. At construction zones, pedestrian fences or other protective barriers shall be provided to prevent access into the construction zone.

1.14 PROJECT SIGNAGE

- A. Contractor is permitted to post only one project identification sign based on the following example:



1.15 PREPARATION

- A. Consult with Owner to review jobsite areas required for field offices, material storage and stockpiles, equipment storage, access to different locations, etc.

1. Progress payments no later than 30 days after the date of receipt of an approved Application for Payment.
2. Final payment of all remaining amounts no later than 30 days after the date the Owner approved all Work.

1.16 PERFORMANCE

- A.** Confine equipment, apparatus, and storage of material to work limits. The Owner will not be responsible for protection of materials and equipment from damage, pilfering, etc.
- B.** The Contractor shall provide all necessary security, protection, and storage for materials and equipment associated with the Work.
- C.** Install temporary facilities in such a manner that the installed work will not be damaged.
- D.** Do not use facilities of existing building unless authorized in writing by the Owner.
- E.** OSU is a tobacco-free campus and tobacco use is prohibited on all Campus property.
- F.** Keep facilities well maintained.
- G.** Relocate temporary facilities as required during job progress.
- H.** At Substantial Completion, clean and renovate permanent facilities that have been used during the construction period, including but not limited to:
 - 1.** Replace air filters and clean inside of ductwork and housings.
 - 2.** Replace significantly worn parts and parts that have been subject to unusual operating conditions.
 - 3.** Replace lamps that are burned out or noticeably dimmed by substantial hours of use.
- I.** Final Clean-up: On completion of project and after removal of all debris, rubbish, and temporary construction, Contractor shall leave the construction area in a clean condition satisfactory to the Owner. Cleaning shall include off the site disposal of all items and materials not required to be salvaged, as well as all debris and rubbish resulting from demolition and new work operations.

END OF SECTION

OSU Construction and Maintenance Projects

Safety Requirements

Complete OSU Construction and Maintenance Safety Form - Send completed documents (including Site Safety Plan and all separate answer pages) to Capital Projects Contract Administration along with the signed contract and bonds.

Project Isolation - All construction and remodeling activities regardless of size and/or scope must be fenced, barricaded, or otherwise protected to restrict entrance and to ensure the safety of those in the general area. See isolation requirements.

Site Safety Plan - A site safety plan will be required and will address:

- | | |
|-------------------------------------|------------------------|
| ○ General Information | ○ Emergency Procedures |
| ○ Emergency Information | ○ Work Zones |
| ○ Key Organization Personnel | ○ Security Measures |
| ○ Hazard Evaluation/Facility Impact | ○ Fire Protection |

A model plan is attached. This form can be used if another plan has not already been prepared. Contact OSU Environmental Health & Safety for more information 737-2505.

ISOLATION REQUIREMENTS

General: All construction, maintenance, and remodeling activities, regardless of size or scope, must be fenced, barricaded, or otherwise isolated to restrict entrance and to ensure the safety of those in the general area.

Outdoor Activities: Outdoor projects require the following perimeter isolation:

- A six foot chain-link fence, with controlled access points, extending in all directions around the excavation or building site such that no area of the construction is accessible to pedestrians or unauthorized personnel or vehicles.
- Isolation area will include vehicle loading and unloading areas.
- At the University's option, other barricading plans may be accepted. These may apply to projects such as road resurfacing, parking lot striping, exterior building water proofing, deliveries, etc. Contact EH&S regarding other barricading plans.

Overnight: Any excavation across or adjacent to sidewalks or pathways which must be left open overnight, must be identified with working, blinking construction lights in addition to solid barricades

Indoor Activities: Indoor construction or maintenance projects which will create dust, potentially hazardous fumes or vapors, or offensive odors are subject to the following isolation:

- Areas where existing doors can provide isolation will be labeled "Construction Area-- Authorized Personnel Only".
- All other areas will be isolated by a solid barrier. The minimum barrier allowed is 4 mil poly sheeting sealed to prevent migration of dust.
- Mechanical ventilation may be required.
- A solid wall is required if building envelope is opened to the outside.

Contractor Responsibilities

- The contractor will provide all barricading, isolation, and fencing material. OSU will not provide any materials.
- The contractor will also provide all appropriate warning and detour signs when sidewalks, exits, or roads are closed.
- Contractor will provide all other construction area signs

OSU Construction and Maintenance Safety Form

Send completed safety documents to Capital Projects Contract Administration
with contract and bonds.

Date: _____ Project: _____

Start Date: _____ Completion date: _____

Contractor: _____ Contact: _____

Work # _____ 24 hr #: _____

OSU Project Mgr: _____ Work / 24hr #'s: _____

Dept Contact: _____ OSU EH&S Contact: _____

Preconstruction meeting? **Y N** Date/Time/Location: _____

For the following items, prepare answers on a separate sheet for all items marked "Yes". Precede each answer with the appropriate item number. All boxes need to be checked

Y	N	For This Project	If YES, then:
		1 Will any confined spaces be accessed?	Describe location of entry Specify location of permit Notify EH&S prior to entry See SAF 209
		2 Will hot work be performed (welding, cutting, brazing, etc.)?	Provide min. 5# 2A10BC extinguisher within 10 ft If indoors - provide and describe ventilation See SAF 214
		3 Any products brought to campus?	Provide MSDS on site prior to first use; Make available to OSU on request
		4 Will lead paint be impacted?	Describe plan to limit contamination
		5 Will asbestos-containing-material be impacted?	Coordinate with OSU asbestos manager
		6 Will <u>any</u> materials (construction debris, soil, water, etc) be removed from campus?	Describe in detail identity and disposition of material (how, where)
		7 Any open trenches or holes?	Describe isolation procedures (see Page 1)
		8 Will a crane be used?	Describe crane safety plan (include plan to prevent loads above occupied areas)
		9 Is this project building a new facility, a major remodel?	Provide Site Safety plan Describe isolation procedures (see Page 1)
		10 Is this a minor remodeling project?	Provide, or fill out model Site Safety Plan form (see Page 3) Describe isolation procedures (see Page 1)
		11 Will air contamination be produced (e.g. dust, CO, solvent vapors, VOCs, odors)?	Describe project ventilation and isolation Indicate position of building air intake(s)
		12 Will there be noise > 85 dB?	Describe noise minimization plan
		13 Will this project use a scaffold or an external chute?	Describe isolation, dust control, installation
		14 Will this project involve a working surface >6' above a lower level	Describe fall protection
		15 Will any "blind" saw-cuts or penetrations be made in existing foundations, floors, ceilings and/or walls?	Describe plan for detecting and protecting power lines or other building utility lines.

EH&S Review: _____ Date: _____

Model Site Safety Plan

1. General Information

Contractor name _____
 Address _____
 City, State, Zip _____
 Site Safety Officer _____ Project Dates _____
 Project Name _____

2. Emergency Information

Emergency Response	911	OSU EH&S and OSU Facilities Services must be notified in the event of an emergency
Hazardous Materials Spill		
MSDS on-site location		
OSU EH&S	(541) 737-2505	
Facilities Services	(541) 737-2969	

3. Contractor Key Personnel

	Name	Phone	Emergency Contact
Company Owner			
Project Manager			
Job Supervisor			
Site Safety Officer			
Other Responsible Individual			
24 Hour Notification			

List of employees on site _____

4. Hazard Evaluation/ Facility Impact	
Physical	Yes / No
Heavy Equipment	
Noise	
Heat	
Elevation	
Radiation Materials	
Excavations	
Underground Utilities	
Confined Spaces	
Fire Prevention	
Electrical	

5. Emergencies
Services
Evacuation Route
First Aid Location
Hazardous Materials Spill Procedure

6. Work Zones

Material Storage _____
 Parking locations _____
 Individuals with OSU keys _____
 Access issues _____

7. Security measures

8. Fire protection

SECTION 01 56 39

TREE AND PLANTING PROTECTION

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Section includes temporary protection of trees, plants and groundcovers not indicated to be removed, as necessary and required to prevent damage above and below grade.

1.02 DEFINITIONS

- A. Tree Root Protection Zone (TRPZ): An area that generally extends from the base of the tree trunk beyond the drip line of the tree.
- B. Drip line: Outer perimeter of branches of any plant.
- C. Owner’s Arborist: An ISA Certified Arborist with experience to conduct the work required by this Section who is employed by or under contract with the Owner.

1.03 PERFORMANCE REQUIREMENTS

- A. The Contractor shall protect existing trees and plants designated to remain and shall comply with all protection requirements provided by the Owner and Authorities Having Jurisdiction as conveyed through the Owner’s Authorized Representative.
- B. The Contractor shall install tree protection fencing as detailed and shall prevent damage to shrubs, groundcover, trees, root systems, soil, bark, foliage, branches and limbs due to construction activities, including but not limited to:
 - 1. Soil contamination, erosion, and compaction.
 - 2. Excessive wetting, and ponding due to storm water, and construction run-off.
 - 3. Alteration of grade, stockpiling of soil, debris, and materials.
 - 4. Damage to soil, roots, bark, trunk, limbs, branches, and foliage.
 - 5. Prevent unauthorized cutting, breaking, skinning and bruising of roots, branches, and bark.

- C. No excavation, trenching, grade change, stockpiling, equipment staging, material storage, vehicle parking, or disposal of debris shall occur within tree and planting protection areas unless specifically approved in writing by the Owner's Authorized Representative.

1.04 SUBMITTALS

- A. Submit a procedural proposal for tree and plant protection describing methods of protection and stabilization, together with drawings and supporting documentation as directed, including a tree protection plan if required for permit approval.

1.05 PROJECT CONDITIONS

- A. Install protection during initial mobilization at the Work site and maintain it until Substantial Completion unless otherwise approved in writing by the Owner's Authorized Representative.
- B. If, in the opinion of the Owner's Arborist, additional protection is required, the Contractor shall install as directed and without cost to the Owner.
- C. The location and requirements for additional fencing shall be determined by the Owner's Arborist prior to, and at any time during the course of the Work.
- D. Fencing:
 - 1. Fencing shall be installed at the tree and plant protection areas as detailed on Plans, or as directed by the Owner's Authorized Representative.
 - 2. Tree and plant protection fences shall remain in place until all Work is completed and shall not be removed or relocated without the approval of the Owner's Authorized Representative.
 - 3. Prevent entry into protected areas except as authorized in writing by the Owner's Authorized Representative.
- E. Tree and planting protection measures shall be installed before any clearing, grading, excavation, demolition, utility work, or material staging begins in areas that may affect protected vegetation.

- F.** Driving and Parking:
 - 1.** Not permitted off paved surfaces without the approval of the Owner's Authorized Representative.
 - 2.** When approved, the Contractor shall place plywood of sufficient thickness and width to support vehicles and prevent rutting on the area to be driven on.
- G.** Storage of materials and debris is not permitted within tree and planting protection areas.

PART 2 PRODUCTS**2.01 FENCING**

- A.** The Contractor shall install tree protection fencing around trees identified to remain prior to the start of site work, grading, or staging of equipment or materials.
- B.** Tree protection fencing shall be galvanized chain-link fencing not less than six feet high. Unless otherwise approved by the Owner's Authorized Representative, steel posts shall not be driven or otherwise anchored into the ground within protected areas.

2.02 SIGNAGE

- A.** A highly visible sign shall be posted on the chain-link fence marking the area as a Tree Root Protection Zone. The sign shall meet Authority Having Jurisdiction requirements and remain posted and unobstructed until the Work is completed.

PART 3 EXECUTION**3.01 SITE SURVEY**

- A.** Verification of Conditions: Inspect trees, plants, and groundcovers, document existing conditions prior to installation of protection.
- B.** Verify existing irrigation operations with the Owner's Authorized Representative prior to installation of protection.

3.02 EXECUTION

- A. Pruning and Cutting of Roots, Branches and Foliage:**
1. Review conditions with Owner or Owner's Arborist prior to need for work and proceed as directed.
 2. All pruning to be done by Owner's landscape maintenance personnel or Owner's Arborist under the direction of Owner's Landscape Management Department.
 3. Perform pruning and cutting with sharp instruments intended for the purpose; do not break or chop.
 4. Carefully and cleanly cut roots and branches only where specifically directed by the Owner's Authorized Representative or Owner's Arborist and where such roots and branches obstruct the Work.
 5. Protect exposed roots with wet burlap until they can be covered with soil.
- B. Excavation and Trenching Within Drip Lines:**
1. Permitted where indicated, and at other specifically approved locations.
 2. Tunnel under or around roots by hand digging or boring.
 3. Do not cut main lateral roots and tap roots over one inch diameter; cut smaller roots which interfere with installation of new Work.
 4. Do not allow exposed roots to dry out before permanent backfill is placed; provide temporary earth cover, or pack with peat moss and wrap with burlap.
 5. Water and maintain roots in moist condition and temporarily support and protect from damage until permanently relocated and covered with backfill.
- C. If roots, branches, trunks, or other protected vegetation are damaged during the Work, immediately notify the Owner's Authorized Representative and take temporary protective measures as directed until permanent corrective action is determined.**
- D. Existing grading within the drip line of trees and plants shall be maintained unless otherwise indicated on the Drawings and approved by the Owner's Authorized Representative.**

- E. Calculating the Tree Root Protection Zone:
 - 1. Measure the tree’s diameter at breast height (DBH), in inches. DBH is calculated using the circumference of the tree trunk at 5 feet above grade.
 - 2. Multiply the DBH by 1.5 to determine the minimum radius of the TRPZ.
 - 3. Example = 7” DBH x 1.5 = 10.5’.
 - 4. The result expressed in feet shall be the minimum radius of the TRPZ.
 - 5. For trees less than 8” in DBH, the TRPZ shall not be less than the diameter of the canopy drip line.
- 6. For shrubs scheduled to remain the protection shall be 1 foot out from the drip line of the existing plant or plant grouping unless determined otherwise by Owner’s Arborist or AHJ.

3.03 REPAIR AND REPLACEMENT OF TREES AND PLANTS

- A. Repair trees or shrubs damaged by construction operations as directed by the Owner’s Authorized Representative or Owner’s Arborist.
- B. Make repairs promptly after damage occurs to prevent progressive deterioration of damaged trees.
- C. Repair or replacement requirements established by the Owner under this Section are in addition to, and not in limitation of, the Contractor’s responsibility for protection of property under the Contract Documents.
- D. Tree Replacement:
 - 1. Up to 8” DBH: Replace with the same size as the damaged tree, with species selected by the Owner after consultation with the OSU Project Manager and OSU Landscape Management Department.
 - 2. Over 8” DBH: Compensate OSU in an amount determined by a value appraisal completed by the Owner’s Arborist in accordance with the most recent Council of Tree and Landscape Appraisers standards.
 - 3. Replacement shrubs and groundcovers: Same size and quality as the damaged shrub or groundcover, with species selected by the Owner in consultation with the OSU Project Manager and OSU Landscape Management Department.

END OF SECTION

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April 2026

Notice of Extended Payment Provision

The Contract will allow Owner to make:

1. Progress payments no later than 30 days after the date of receipt of an approved Application for Payment.
2. Final payment of all remaining amounts no later than 30 days after the date the Owner approved all Work.

SECTION 01 60 00

PRODUCT REQUIREMENTS

PART 1 GENERAL

1.01 SECTION INCLUDES

- A.** Summary:
 - 1. Product options.
 - 2. Owner-furnished products.
 - 3. Product delivery, storage and handling.

1.02 REQUIREMENTS

- A.** Products:
 - 1. New materials, equipment, components, fixtures, and systems incorporated into the Work. This definition does not include machinery and equipment used for preparation, fabrication, conveying, or erection of the Work.
 - 2. Products may also include existing materials or components specifically identified for reuse.
- B.** Use interchangeable components of the same manufacture for similar components.
- C.** Unless otherwise specified, all material and equipment shall be new; free from defects impairing strength, durability, and appearance; of current manufacture.
- D.** Items specified shall be considered minimum requirements as to quality, function, capacity, and suitability for the intended application.
- E.** Items incorporated into the Work shall conform to applicable specifications and standards designated, and shall be of size, make, type, and quality specified.
- F.** Design, fabricate, and assemble products in accordance with applicable industry standards, manufacturer requirements, and the Contract Documents.
- G.** Manufacture like parts of duplicate units to standard size and gauge to make them interchangeable.
- H.** Two or more items of the same kind shall be identical and made by the same manufacturer.

- I. Materials and equipment incorporated into the Work shall comply with the requirements of the Contract Documents and applicable governing codes and standards.

1.03 PRODUCT OPTIONS

- A. Products Specified by Reference Standards or by Description Only: Any product meeting those standards or description.
- B. Products Specified by Naming One or More Manufacturers with a Provision for Substitutions: Submit requests for substitution in accordance with Section 01 25 00 and the requirements of the Contract Documents.
- C. Products Specified by Naming One or More Manufacturers: Products of the manufacturer named and meeting the specifications shall be provided. Substitutions are not permitted unless specifically authorized in the Contract Documents.

1.04 REUSE OF EXISTING PRODUCTS

- A. Except as specifically indicated or specified, materials and equipment removed from existing construction shall not be used in the completed Work.
- B. For material and equipment specifically indicated or specified to be reused in the Work:
 - 1. Use care in removal, handling, storage, and reinstallation to assure proper function in the completed Work.
 - 2. Arrange for transportation, storage, and handling of products which require off-site storage, restoration, or renovation.

1.05 DELIVERY, STORAGE AND HANDLING

- A. Transport, handle, store, and protect products in accordance with the manufacturer's written instructions and the requirements of the Contract Documents. Deliver, store, and handle products using means and methods that prevent damage, deterioration, and loss, including theft and vandalism.
- B. Arrange deliveries in accordance with construction schedules; coordinate to avoid conflict with Work and site conditions.

- C. Deliver and store products in undamaged condition in manufacturer's original containers or packaging with identifying labels intact and legible.
- D. Inspect shipments to assure compliance with Contract Documents and reviewed submittals, and that products are undamaged.
- E. Prevent soiling or damage to products or packaging.
- F. Comply with product manufacturer's written instructions for temperature, humidity, ventilation, and weather-protection requirements for storage.
- G. Interior Storage: Maintain required temperature and humidity ranges. Verify that Owner furnished storage meets product manufacturer's requirements.
- H. Exterior Storage:
 - 1. Store materials above ground to prevent soiling and/or moisture infiltration.
 - 2. Cover materials with waterproof breathable sheet coverings; provide adequate ventilation.
 - 3. All storage locations to be approved in advance by the Owner.
- I. Arrange storage to provide access for Owner.
- J. Coordinate with Owner's Authorized Representative all on-site storage activities.
- K. Provide for security of stored products.
- L. Materials delivered to the Project site shall be subject to inspection by the Owner or Owner's Authorized Representative to verify compliance with the Contract Documents.

END OF SECTION

SECTION 01 73 29

CUTTING AND PATCHING

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Requirements and limitations for cutting and patching of Work.
- B. Requirements and limitations for removal and repair of roadway pavement and bridge approach structures.

1.02 RELATED SECTIONS

- A. Section 01 25 00, Product Substitution Procedures.
- B. Section 01 33 23, Shop Drawings, Product Data, Samples.

1.03 SUBMITTALS

- A. Submit written request to Owner's Authorized Representative in advance of cutting or alteration which affects:
 - 1. Structural integrity of any element of the Work.
 - 2. Efficiency, maintenance, or safety of any operational element.
 - 3. Work of Owner, Design Professional, or separate contractor.
- B. Include in request:
 - 1. Identification of project.
 - 2. Location and description of affected work.
 - 3. Necessity for cutting or alteration.
 - 4. Description of proposed work, and products to be used.
 - 5. Alternatives to cutting and patching.
 - 6. Effect on work of Owner or separate contractor.
 - 7. Written permission of affected separate contractor.
 - 8. Date and time work will be executed.

PART 2 PRODUCTS

2.01 MATERIALS

- A.** Primary Products: Those required for original installation, asphalt concrete (HMAC), and Portland cement concrete (PCC).
- B.** Product Substitution: For any proposed change in materials, submit request for substitution under provisions of Section 01 25 00.

PART 3 EXECUTION

3.01 EXAMINATION

- A.** Inspect existing conditions prior to commencing Work, including elements subject to damage or movement during cutting and patching. Utilize appropriate investigation methods to examine structural elements that are not visible or cannot be uncovered prior to cutting.
- B.** After uncovering existing work, inspect conditions affecting performance of Work.
- C.** Beginning of cutting or patching means acceptance of existing conditions.
- D.** Perform cutting and patching in accordance with Section F.3 Cutting and Patching of the Oregon State University General Conditions for Reserve Contracts.

3.02 PREPARATION

- A.** Provide temporary supports to ensure structural integrity of the Work.
- B.** Provide devices and methods to protect other portions of the Work from damage.
- C.** Provide protection from elements for areas which may be exposed by uncovering work.

3.03 CUTTING AND PATCHING

- A.** Execute cutting, fitting, and patching required to complete the Work in accordance with the Contract Documents.
- B.** Fit products together to integrate with adjacent Work.
- C.** Remove and replace defective or non-conforming work.

3.04 PERFORMANCE

- A.** Execute Work by methods that avoid damage to other Work and that provide appropriate surfaces to receive patching and finishing. Construction and workmanship of HMAC and PCC placement or repairs shall conform to the applicable requirements of the OSU Design and Construction Standards.
- B.** Cut rigid materials using masonry saw or core drill. Pneumatic tools are not allowed without prior approval from Owner's Authorized Representative.
- C.** Pavement cuts and repairs shall be scheduled to accommodate traffic associated with ranch operations and construction activities and shall be performed as rapidly as possible to provide maximum safety.
- D.** Concrete shall be placed to a minimum thickness of eight (8) inches or to the thickness of the removed pavement, whichever is greater. Pavement shall be placed on a compacted aggregate base of minimum thickness of two (2) inches functioning as a leveling course. Full panel replacement to the nearest joint is required.
- E.** Restore work with new products in accordance with requirements of Contract Documents.
- F.** Refinishing:
 - 1.** Refinish surfaces to match adjacent finish.
 - 2.** For continuous surfaces, refinish to nearest intersection or natural break.
 - 3.** For an assembly, refinish entire unit.
- G.** Restore all disturbed roadway, pavement, and bridge approach areas to equal or better condition than existed prior to construction in accordance with the Contract Documents.

END OF SECTION

SECTION 01 74 00

CLEANING

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Related requirements specified elsewhere for cleaning associated with specific products, materials, or work activities are included in the Specification Section governing that Work.
- B. Maintain premises and public properties free from accumulations of waste, debris, and rubbish, caused by operations.
- C. At completion of Work remove waste materials, rubbish, tools, equipment, machinery, and surplus materials from the Project site and adjacent areas affected by construction activities; leave the site clean and suitable for intended use.

1.02 QUALITY ASSURANCE

- A. Standards:
 - 1. Maintain project in accord with applicable safety and insurance standards.
- B. Hazard Control:
 - 1. Store volatile wastes in covered metal containers.
 - 2. Provide adequate ventilation during use of volatile or noxious substances.

1.03 MATERIALS

- A. Use only cleaning materials recommended by manufacturer of surface to be cleaned.
- B. Use cleaning materials only on surfaces recommended by cleaning material manufacturer.

1.04 DURING CONSTRUCTION

- A. Wet down dry materials and rubbish to lay dust and prevent blowing dust.
- B. At reasonable intervals during progress of the Work clean the Project site, access roads, and adjacent public or Owner property affected by construction operations, and remove and dispose of waste materials, debris, and rubbish.
- C. Provide roadway sweeping and cleaning during construction to prevent mud, sediment, or construction debris from being tracked or deposited onto Beef Barn Road or other adjacent roadways. Maintain roadways in a clean and safe condition in accordance with Owner and Authorities Having Jurisdiction (AHJ) requirements.
- D. Prevent construction debris, sediment, concrete residue, or other materials from entering Soap Creek. Immediately remove any construction materials or debris that migrate beyond the limits of construction.
- E. Maintain erosion control and sediment control measures in a clean and functional condition throughout construction. Remove accumulated sediment and debris from control devices as required to maintain their effectiveness.
- F. Provide on-site containers for collection of waste materials, debris and rubbish.
- G. Remove waste materials, debris, and rubbish from the Project site and legally dispose of such materials at permitted off-site disposal locations in accordance with applicable laws and regulations.
- H. Handle materials in a controlled manner with as few handlings as possible; do not drop or throw materials from heights.

1.05 FINAL CLEANING

- A. Employ experienced workers, or professional cleaners, for final cleaning.
- B. Prior to Substantial Completion conduct final inspection of exposed surfaces and accessible areas within the Project limits to verify removal of construction debris, temporary materials, and waste associated with the Work.
- C. Remove dirt, sediment, construction debris, temporary markings, labels, and other foreign materials from exposed surfaces affected by the Work, including bridge components, roadway surfaces, and adjacent disturbed areas.

- D.** Remove temporary erosion control devices, construction signage, temporary access improvements, and staging materials not required for ongoing operation of the bridge.
- E.** Restore disturbed areas within the Project limits including roadway shoulders, embankments, and adjacent ground surfaces in accordance with the Contract Documents.
- F.** Repair, patch and touch up marred surfaces to specified finish, to match adjacent surfaces.
- G.** Maintain the Project site in a clean condition until Final Completion and acceptance of the Work by the Owner.

END OF SECTION

SECTION 01 77 00

CONTRACT CLOSEOUT

PART 1 GENERAL

1.01 DESCRIPTION

- A.** The requirements specified in this Section relate to closeout of the Work under these Contract Documents:
 - 1. Project Closeout Documents.
 - 2. Substantial Completion.
 - 3. Final review and final payment.
- B.** Related work specified elsewhere:
 - 1. OSU General Conditions for Reserve Contracts.
 - 2. Shop Drawings, Product Data and Samples, Section 01 33 23.

1.02 PROJECT CLOSEOUT DOCUMENTS

- A.** The Project Closeout Documents shall be organized to include the following information, with final order to be confirmed by the Owner's Authorized Representative:
 - 1. Table of Contents.
 - 2. Project Team List.
 - 3. Warranties.
 - 4. Change Orders.
 - 5. Record RFIs.
 - 6. Inspection Reports.
 - 7. Test Reports.
 - 8. As-Built Drawings.
 - 9. As-Built Specifications.
- B.** Draft Project Closeout Documents shall be submitted for review prior to Substantial Completion at a time acceptable to the Owner's Authorized Representative.
- C.** Project Closeout Documents shall be submitted electronically to the Owner. Hard copies will not be accepted. Closeout Documents shall be provided in the order described in Paragraph A and as combined or separate PDF files as

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April 2026

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- 2. Final payment of all remaining amounts no later than 30 days after the date the Owner approved all Work.

directed by the Owner's Authorized Representative. Each closeout item shall include its own table of contents if required by the Owner's Authorized Representative.

- D.** The Project Team List shall include the name, address, telephone number, and email address, if available, for the Owner, Contractor, major Subcontractors, testing or inspection entities, and material manufacturers relevant to the Work.
- E.** Include, in order and in a single section, the Owner's warranty form, if provided, and all labor and material warranties, clearly marked to identify the Owner's responsibilities under each warranty and the portion of the Work to which each warranty applies.
- F.** Legibly mark the As-Built Drawings to indicate actual as-built conditions, including changes in the Work made by Solicitation Addenda, Requests for Information, Supplemental Instructions, Change Orders, Construction Change Directives, or actual field conditions differing from the Drawings. Include additional drawings as required for a complete as-built set.
- G.** Legibly mark each As-Built Specification Section to indicate actual as-built conditions, including changes in the Work made by Solicitation Addenda, Requests for Information, Supplemental Instructions, Change Orders, and actual materials and manufacturers used.

- H. Maintain current and accurate as-built mark-ups during construction and make available to Owner's Authorized Representative upon request.
- I. Include inspection reports and field test reports applicable to the Work.
- J. Include permits, permit sign-offs, and other closeout records required by Authorities Having Jurisdiction if applicable to the Work.
- K. Include record documentation of erosion control, sediment control, site restoration, and revegetation work required by the Contract Documents if applicable to the Work.

1.03 SUBSTANTIAL COMPLETION

- A. Prior to requesting a Substantial Completion inspection, the Contractor shall inspect the Work and prepare a punch list noting items that are incomplete or incorrect.
- B. The Owner, and the Design Professional if applicable, will conduct a site review with the Contractor to confirm the status of the Project and add items to the punch list as needed.
 - 1. This review shall be scheduled when the Contractor believes the Project is substantially complete.
 - 2. The punch list review for Substantial Completion shall occur as a consolidated review where possible. Depending on the outcome of the review, an additional review may be required to confirm whether the Work is substantially complete.
- C. If a Design Professional is involved in project administration, the Design Professional may provide a recommendation regarding Substantial Completion to the Owner, together with the punch list. The Owner will provide written notice to the Contractor of Substantial Completion, including the date of Substantial Completion, when appropriate.

- D.** The Contractor shall notify affected Subcontractors in writing of incomplete or incorrect items in sufficient time for completion of the Work in accordance with the Contract Documents. Such Work shall be promptly corrected.
- E.** If conditions exist that prevent completion of minor remaining items of Work, but the Work is otherwise capable of serving its intended purpose, the Contractor shall identify such items and the reason for delay in writing to the Owner for review.
- F.** Warranties shall commence as provided in the Contract Documents.
- G.** Submit final as-built markups, warranties, inspection records, and other closeout documents required by the Contract Documents as a condition of Final Completion.

1.04 FINAL REVIEW AND PAYMENT

- A.** Notify the Owner in writing when the Work is complete and ready for final review. Submit all closeout documents required by the Contract Documents at that time.
- B.** The Owner will review the submitted closeout documents and the status of the Work in accordance with the Contract Documents.
- C.** The Contractor shall make required corrections to the Work expeditiously. The Owner will provide written notice to the Contractor regarding project status as appropriate.
- D.** When contract closeout procedures are completed and all punch list deficiencies have been corrected, provide the Owner with final corrected Project Closeout Documents incorporating the Owner's review comments. Corrected and final Project Closeout Documents shall be in electronic format.

- E.** Final Completion by the Owner will be documented and the Contractor will receive written notice of acceptance of the Work. Final payment shall be made in accordance with the Contract Documents.
- F.** Submission and acceptance of closeout documents is a condition precedent to Final Payment to the extent required by the Contract Documents.

END OF SECTION

1. Progress payments no later than 30 days after the date of receipt of an approved Application for Payment.
2. Final payment of all remaining amounts no later than 30 days after the date the Owner approved all Work.

SOAP CREEK BRIDGE

BEEF BARN LANE BRIDGE

CORVALLIS, OR

PROJECT PARTNERS



CSE Engineering, Inc



PROJECT DESCRIPTION

RDG/SWCA WAS CONTRACTED BY CSE ENGINEERING, INC. TO ASSIST OREGON STATE UNIVERSITY (OSU) IN THE REPLACEMENT OF THE BEEF BARN LANE BRIDGE. RDG/SWCA PROVIDED TOPOGRAPHIC AND BATHYMETRIC SURVEY DATA OF THE SITE; PROPOSED STRUCTURE AND SITE LAYOUT; HYDRAULIC MODELING; AND FEDERAL, STATE, AND COUNTY PERMITTING ASSISTANCE.

SPATIAL REFERENCE

SURVEY CONTROL USED FOR THE PROJECT IS PROVIDED ON DRAWING 2.0 AND COORDINATES CORRESPOND TO THE TOP CENTER OF CONTROL MARKERS.

LIDAR, GPS RTK, AND TOTAL STATION:

HORIZONTAL PROJECTION: OREGON STATE PLANE NORTH
 HORIZ DATUM: NAD83
 VERT DATUM: NAVD88

SURVEY DATE: 01/2025
 LIDAR COLLECTED: 2012

STANDARD OF PRACTICE

SWCA, INC EMPLOYS THE MOST CURRENT AND ACCEPTED PRACTICES AVAILABLE FOR PLANNING AND DESIGN OF FISH PASSAGE, RESTORATION, AND CHANNEL ENHANCEMENT PROJECTS. THE ANALYSIS FOR THE BEEF BARN LANE BRIDGE DESIGN RELIED ON CURRENT FISH PASSAGE CRITERIA FROM ODFW AND NMFS/NOAA. ALL WORK WAS PERFORMED OR DIRECTED BY A REGISTERED PROFESSIONAL CIVIL ENGINEER WITH PAST EXPERIENCE IN FISH PASSAGE DESIGN.

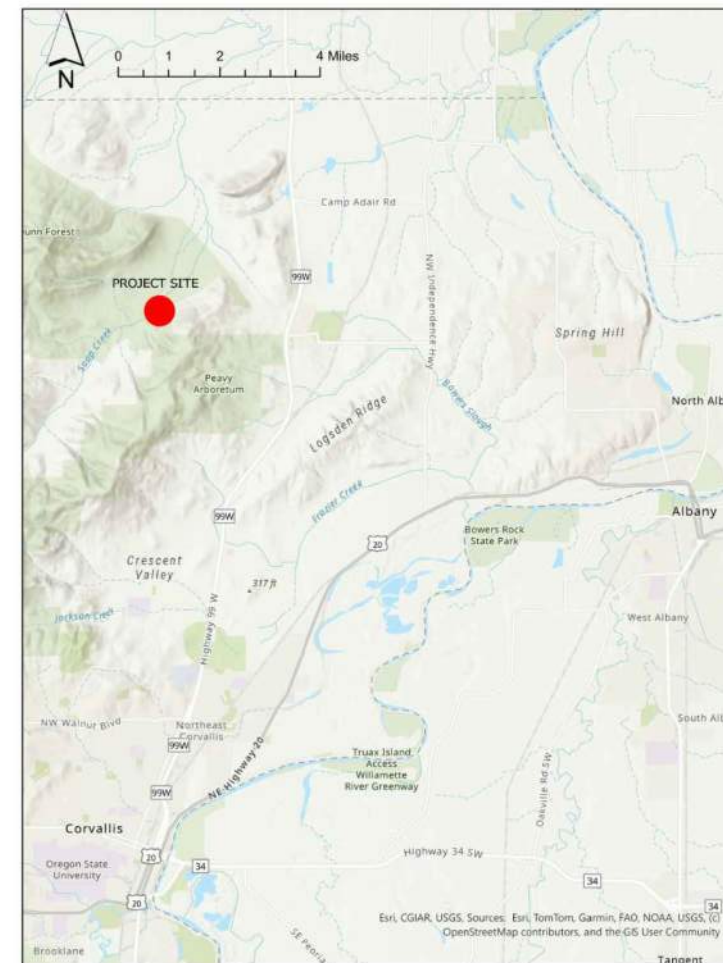
REUSE OF DRAWINGS

THESE DRAWINGS, THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, ARE THE PROPERTY OF RIVER DESIGN GROUP, INC. (RDG) AND ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF RDG. LIKEWISE, THESE DRAWINGS MAY NOT BE ALTERED OR MODIFIED WITHOUT AUTHORIZATION OF RDG. DRAWING DUPLICATION IS ALLOWED IF THE ORIGINAL CONTENT IS NOT MODIFIED.

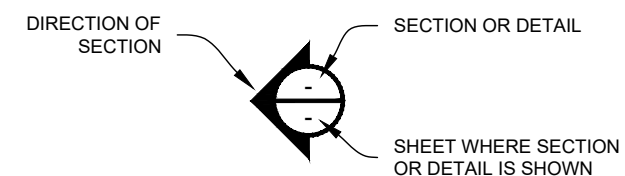
DRAWING INDEX

- 1.0 COVER SHEET AND NOTES
- 2.0 EXISTING CONDITIONS - SOAP CREEK
- 2.1 EXISTING SECTIONS - SOAP CREEK
- 2.2 EXISTING CONDITIONS - BEEF BARN LN BRIDGE
- 3.0 PROPOSED BRIDGE PLAN AND PROFILE
- 3.1 PROPOSED APPROACHES PLAN AND PROFILE
- 3.2 EROSION AND SEDIMENT CONTROL PLAN
- 3.3 BEST MANAGEMENT PRACTICES DETAILS
- 3.4 BRIDGE PCSM

PROJECT VICINITY MAP



**NE 1/4 OF THE SE 1/4 OF SECTION 26, T.10S., R.05W.,
 WILLAMETTE MERIDIAN
 BENTON COUNTY, OREGON
 USGS QUADRANGLE: AIRLIE SOUTH, OR**



CROSS-SECTION SHEET REFERENCE

COVER SHEET

SOAP CREEK BRIDGE
 CORVALLIS, OR



NO.	DATE	BY	DESCRIPTION	CHK	
				RB	
*	8/12/25	GV	PERMITS		
PROJECT NUMBER				24-95474	
DRAWING NUMBER				1.0	
Drawing				1 of 9	

CONTROL NETWORK

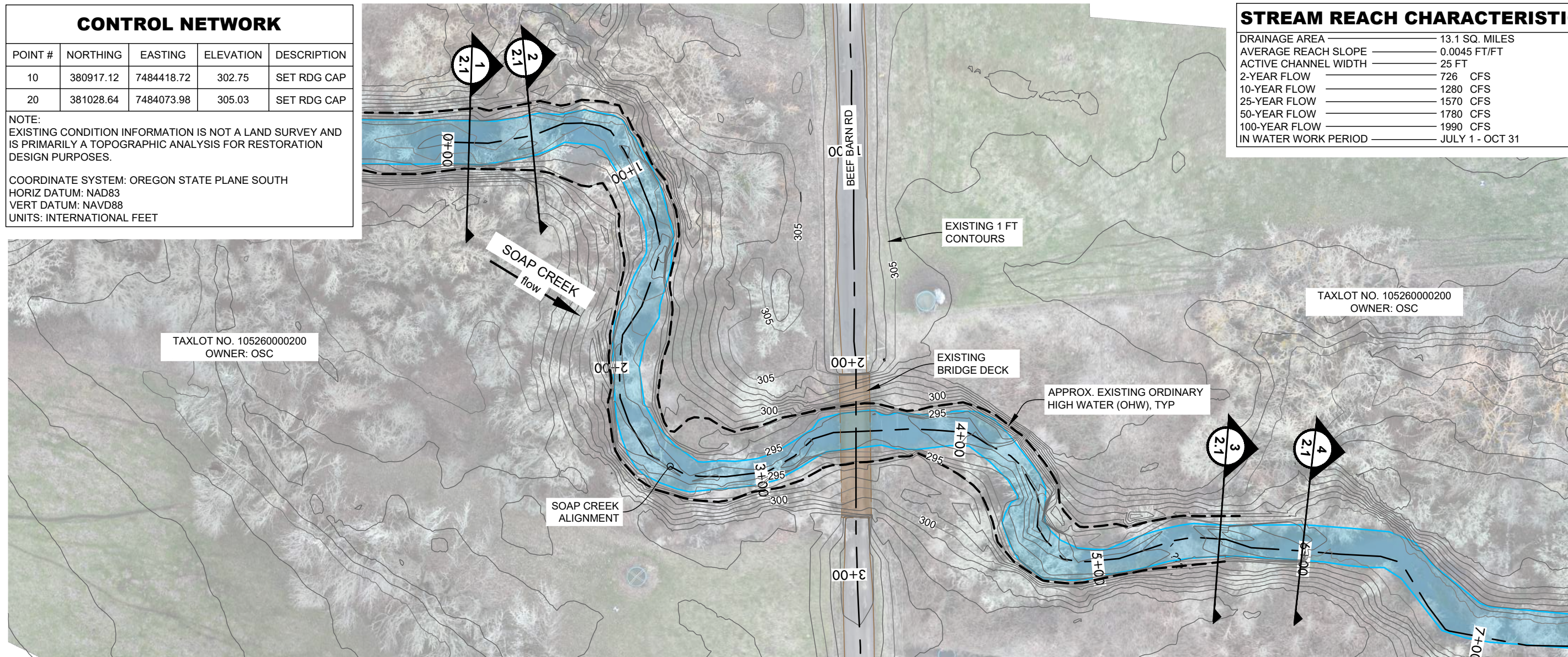
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
10	380917.12	7484418.72	302.75	SET RDG CAP
20	381028.64	7484073.98	305.03	SET RDG CAP

NOTE:
EXISTING CONDITION INFORMATION IS NOT A LAND SURVEY AND IS PRIMARILY A TOPOGRAPHIC ANALYSIS FOR RESTORATION DESIGN PURPOSES.

COORDINATE SYSTEM: OREGON STATE PLANE SOUTH
HORIZ DATUM: NAD83
VERT DATUM: NAVD88
UNITS: INTERNATIONAL FEET

STREAM REACH CHARACTERISTICS

DRAINAGE AREA	13.1 SQ. MILES
AVERAGE REACH SLOPE	0.0045 FT/FT
ACTIVE CHANNEL WIDTH	25 FT
2-YEAR FLOW	726 CFS
10-YEAR FLOW	1280 CFS
25-YEAR FLOW	1570 CFS
50-YEAR FLOW	1780 CFS
100-YEAR FLOW	1990 CFS
IN WATER WORK PERIOD	JULY 1 - OCT 31



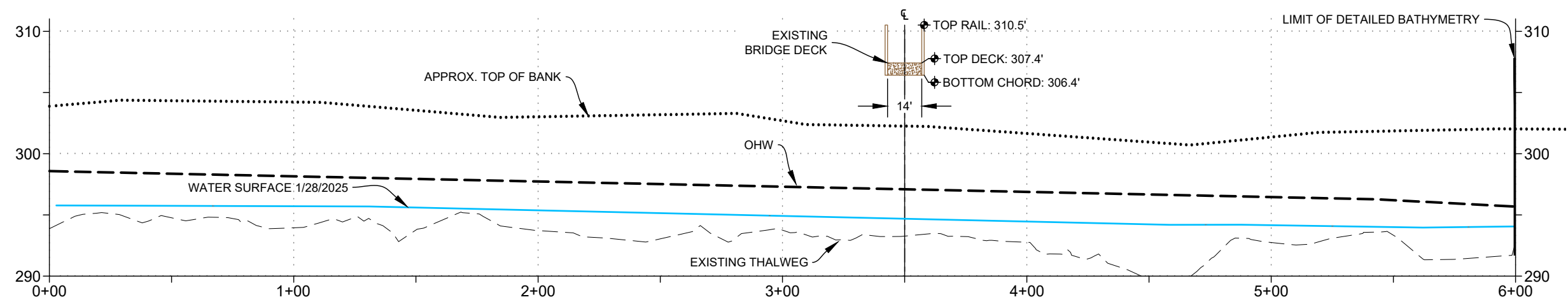
RDG
RIVER DESIGN GROUP
311 SW Jefferson Avenue
Corvallis, OR 97333
541.738.2920

SWCA
S.W. CORVALLIS WATER
311 SW Jefferson Avenue
Corvallis, OR 97333
541.738.2920

EXISTING CONDITIONS - SOAP CREEK BRIDGE
SOAP CREEK BRIDGE
CORVALLIS, OR

1 EXISTING CONDITIONS PLAN VIEW - SOAP CREEK

1" = 50'



2 EXISTING CONDITIONS PROFILE - SOAP CREEK

HORIZ 1" = 50'
VERT 1" = 10'



CHK	DESCRIPTION	BY	DATE	NO.
RB	PERMITS	GV	8/12/25	*

PROJECT NUMBER
24-95474

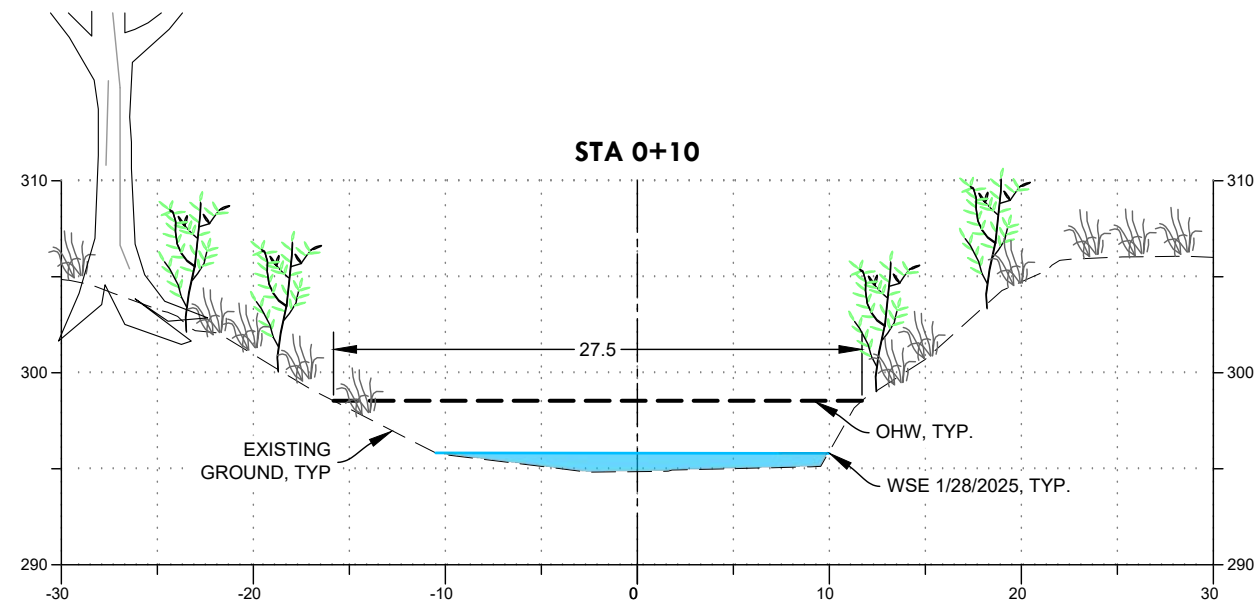
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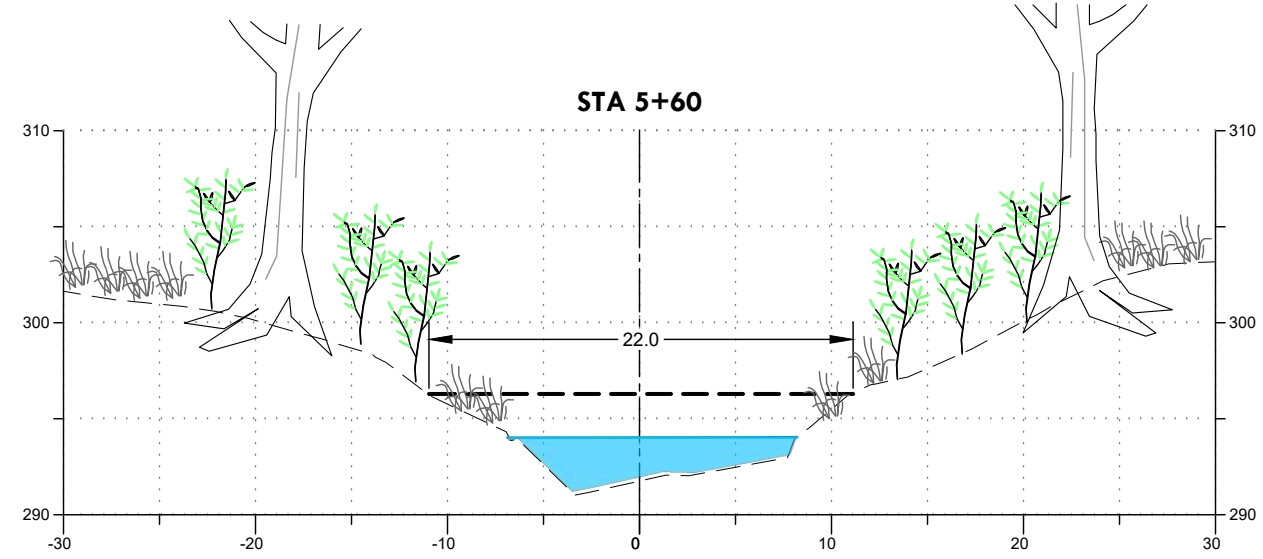
Drawing 2 of 9

Aug 20, 2025 - 11:27am C:\Users\jgvert\OneDrive - SWCA\SWCA-ERED\files - 95474_CRB_Soap_Ck_Bridge\CAD - see ERED\24-95474_Soap_Creek_Production.dwg

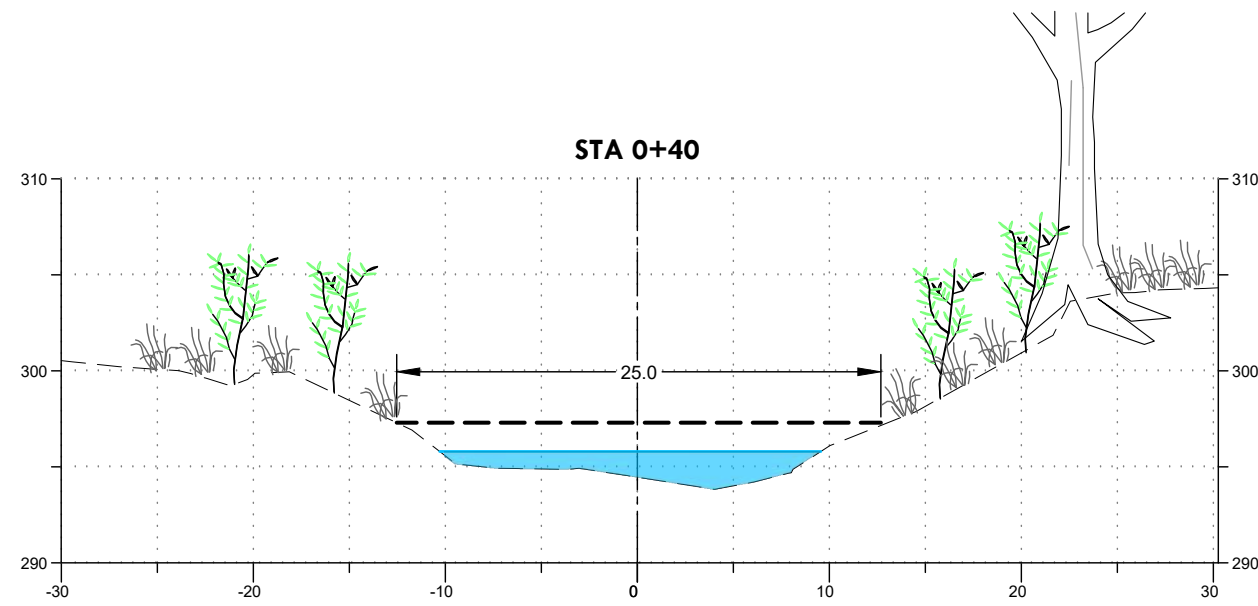
**EXISTING SECTIONS -
 SOAP CREEK
 SOAP CREEK BRIDGE
 CORVALLIS, OR**



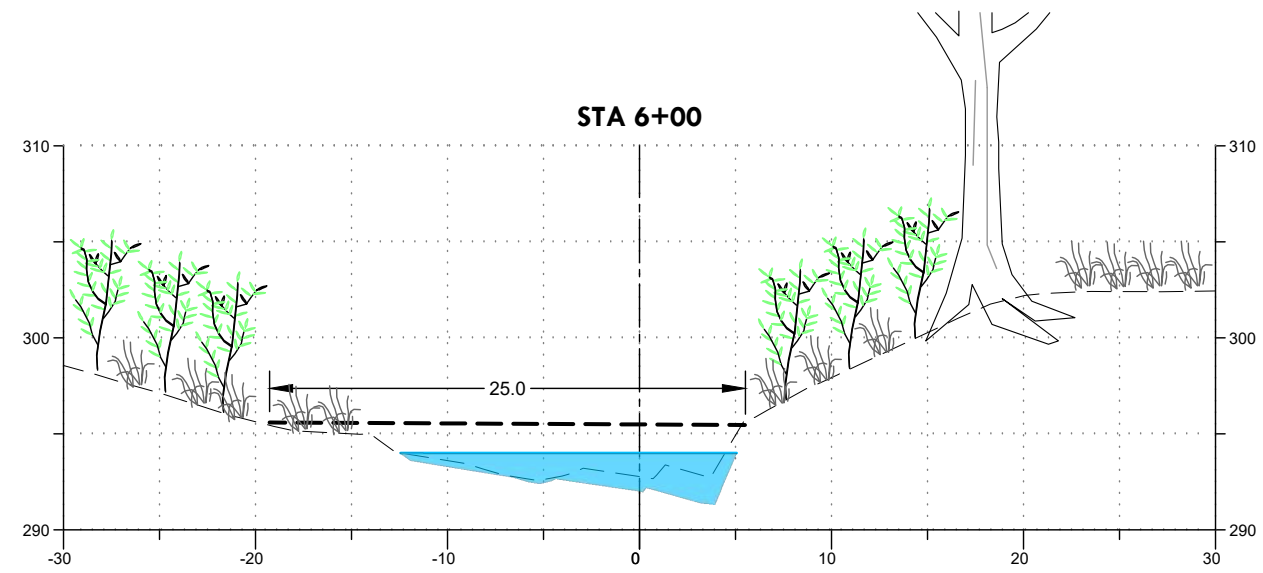
1 EXISTING SECTION - UPSTREAM
 HORIZ 1" = 10'
 VERT 1" = 10'



3 EXISTING SECTION - DOWNSTREAM
 HORIZ 1" = 10'
 VERT 1" = 10'



2 EXISTING SECTION - UPSTREAM
 HORIZ 1" = 10'
 VERT 1" = 10'



4 EXISTING SECTION - DOWNSTREAM
 HORIZ 1" = 10'
 VERT 1" = 10'

NO.	DATE	BY	DESCRIPTION	CHK	
				RB	RB
*	8/12/25	GV	PERMITS		

PROJECT NUMBER
24-95474

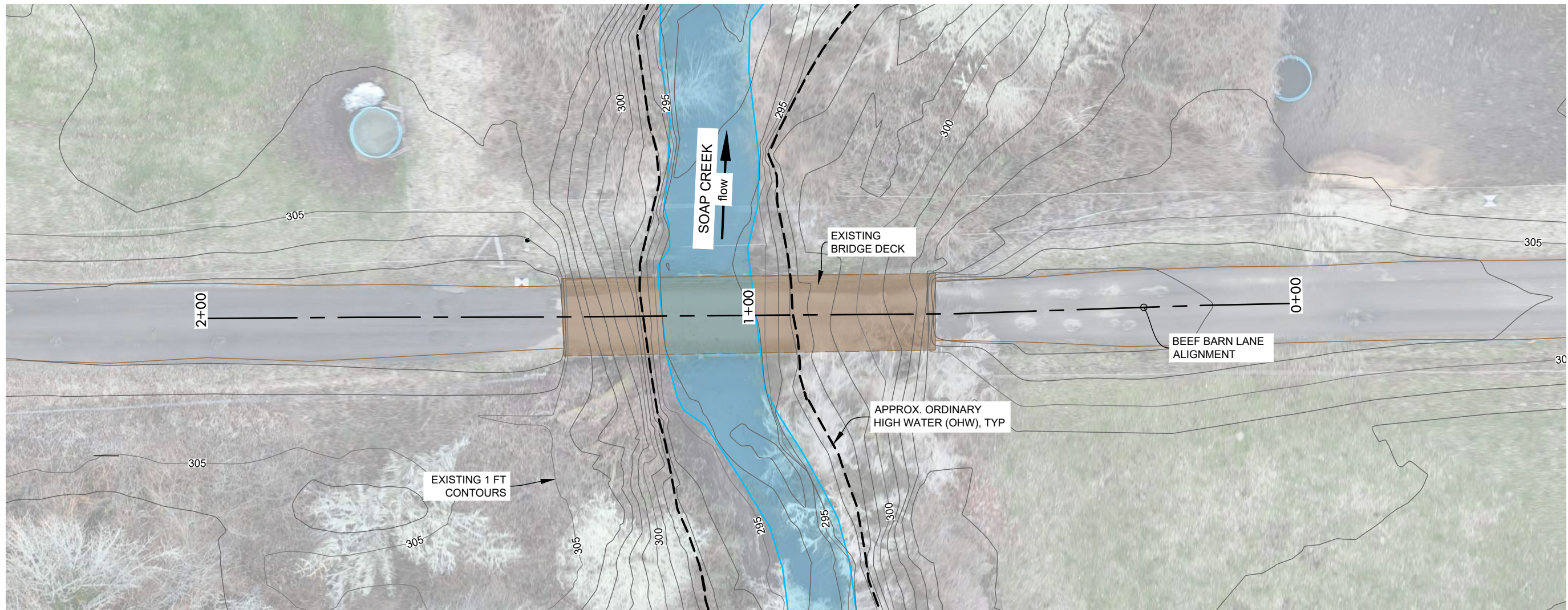
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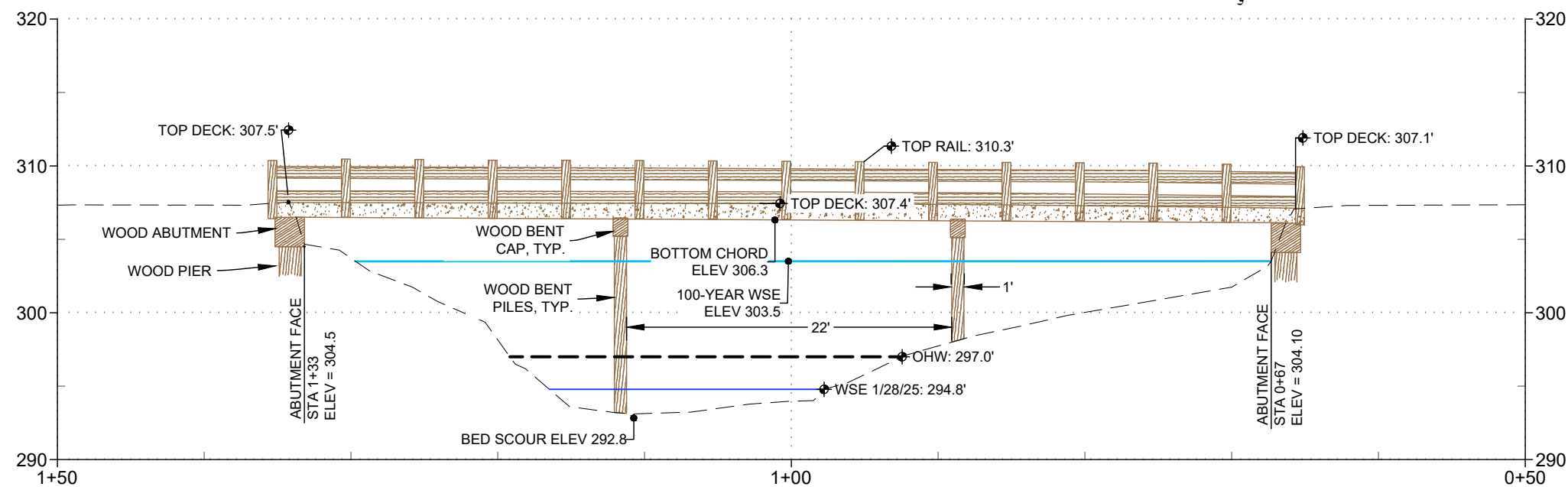
Drawing 3 of 9



Aug 20, 2025 - 11:27am C:\Users\jgvert\OneDrive - SWCA\SWCA-ERED\files - 95474 CRB Soap Ck Bridge\CAD - see ERED\24-95474 Soap Creek Production.dwg



1 EXISTING BRIDGE PLAN VIEW
1" = 20'



2 EXISTING BRIDGE PROFILE
HORIZ 1" = 10'
VERT 1" = 10'

RDG RIVER DESIGN GROUP
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Whiterish, MT 59937
406.862.4927

NOW PART OF
SWCA
Sustainable Watershed Consulting Associates
311 SW Jefferson Avenue
Corvallis, OR 97333
541.738.2920

**EXISTING CONDITIONS -
BEEF BARN LN BRIDGE**
SOAP CREEK BRIDGE
CORVALLIS, OR

NO.	DATE	BY	DESCRIPTION	CHK	
				RB	
*	8/12/25	GV	PERMITS		

PROJECT NUMBER
24-95474

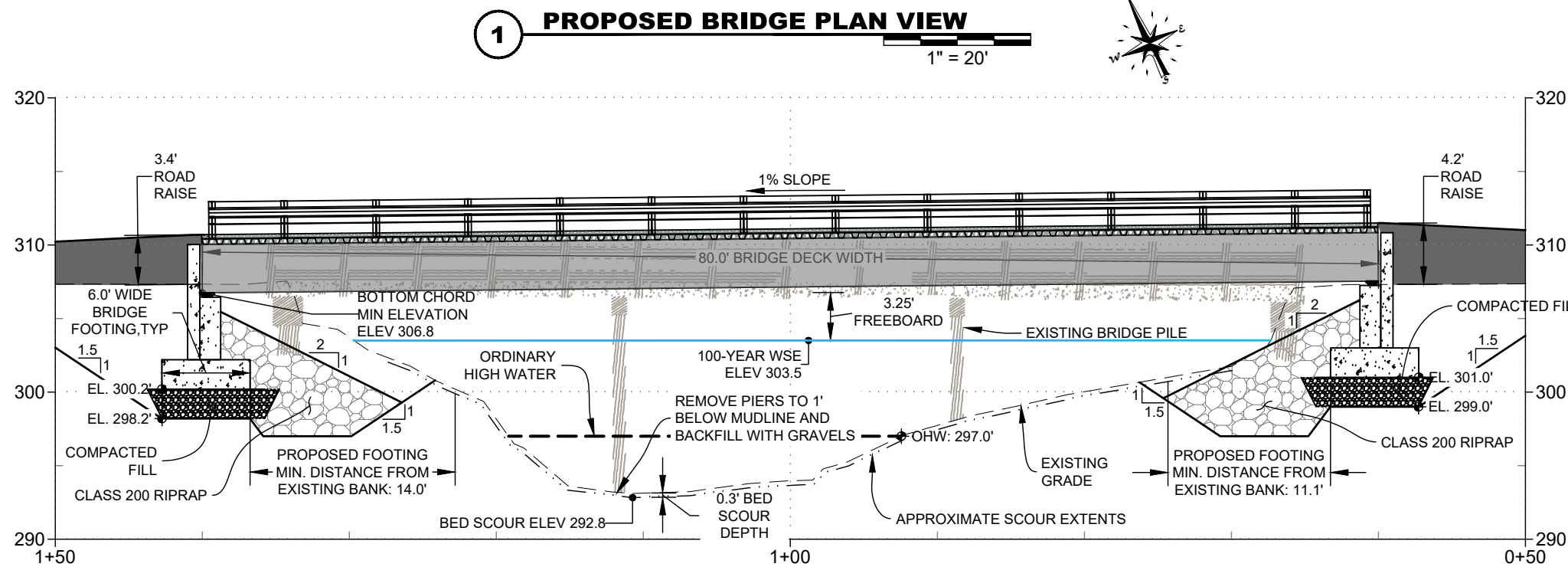
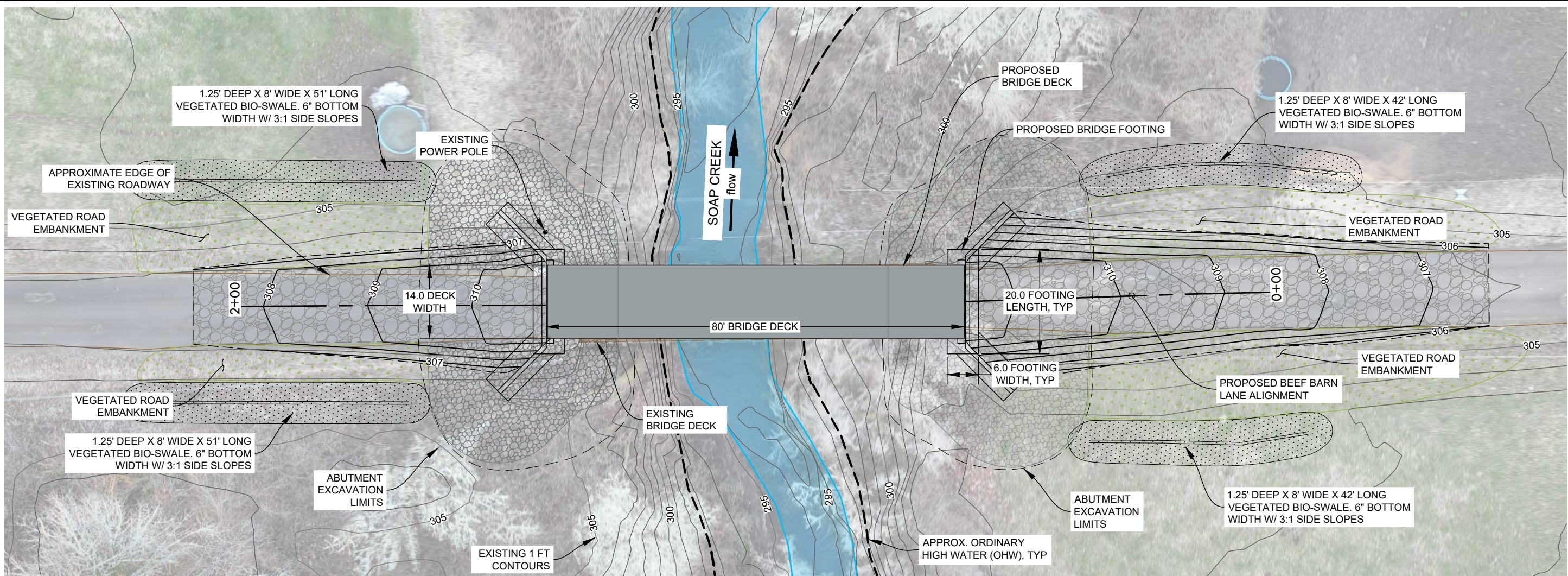
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Drawing 4 of 9



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Corvallis, OR 97333
406.862.4927

HOW PART OF SWCA

236 Wisconsin Avenue
Whiterish, MT 59937
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**PROPOSED BRIDGE
PLAN AND PROFILE**

SOAP CREEK BRIDGE
CORVALLIS, OR

NO.	DATE	BY	DESCRIPTION	CHK	
				RB	PERMITS
*	8/12/25	GV	PERMITS		

PROJECT NUMBER
24-95474

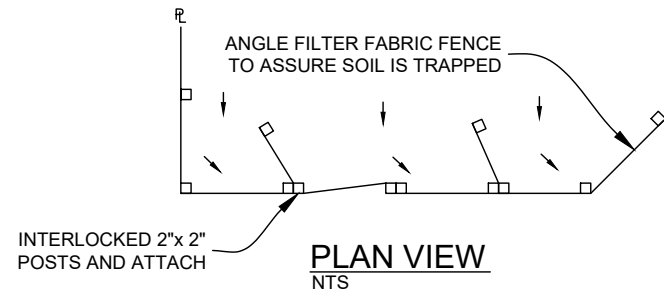
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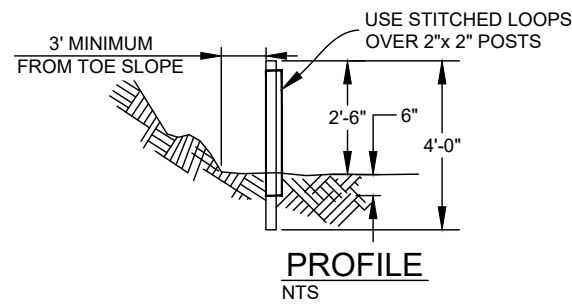
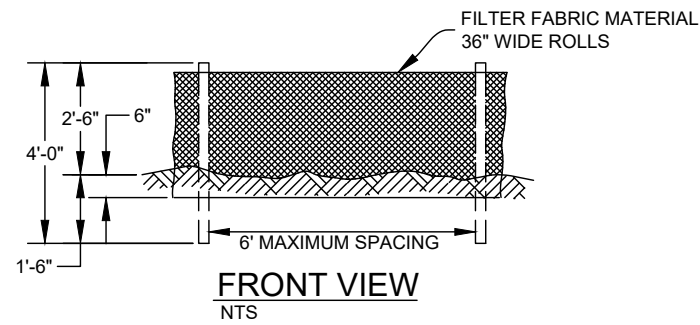
Drawing 5 of 9



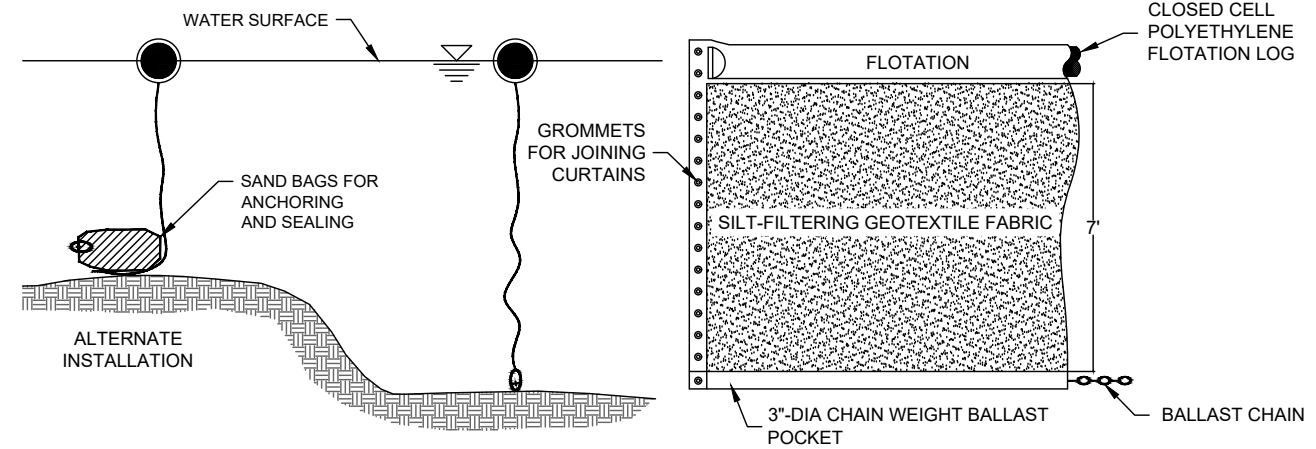
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- NOTES:
1. BURY BOTTOM OF FILTER FABRIC 6" VERTICALLY BELOW FINISHED GRADE.
 2. 2"x 2" FIR, PINE OR STEEL FENCE POSTS.
 3. POSTS TO BE INSTALLED ON UPHILL SIDE OF SLOPE.
 4. COMPACT BOTH SIDES OF FILTER FABRIC TRENCH.
 5. PANELS MUST BE PLACED ACCORDING TO SPACING ON DETAIL NO.940



1 TYPICAL SILT FENCE INSTALLATION



FLOATING SILT CURTAIN SHALL BE A "LAYFIELD FSC 13" OR APPROVED EQUAL. THE BODY OF THE FLOATING SILT CURTAIN IS MADE FROM A STRONG, HIGH-FILTRATION FABRIC THAT RETAINS FINE SILTS AND SEDIMENTS ON-SITE. THE FLOAT AND BOTTOM SLEEVE ARE CONSTRUCTED FROM A UV-STABLE, HIGH-STRENGTH POLYETHYLENE (I.E. RIPSTOP-TYPE MATERIAL). THE FLOATING SILT CURTAIN IS INCREASED IN LENGTH BY JOINING ADDITIONAL SECTIONS OF CURTAIN, WHICH TYPICALLY COMES IN 50' LENGTHS.

2 FLOATING SILT CURTAIN

BEST MANAGEMENT PRACTICES DETAILS
 SOAP CREEK BRIDGE
 CORVALLIS, OR

NO.	DATE	BY	DESCRIPTION	CHK	
				RB	
*	8/12/25	GV	PERMITS		

PROJECT NUMBER
24-95474

DRAWING NUMBER

3.3

Drawing 8 of 9



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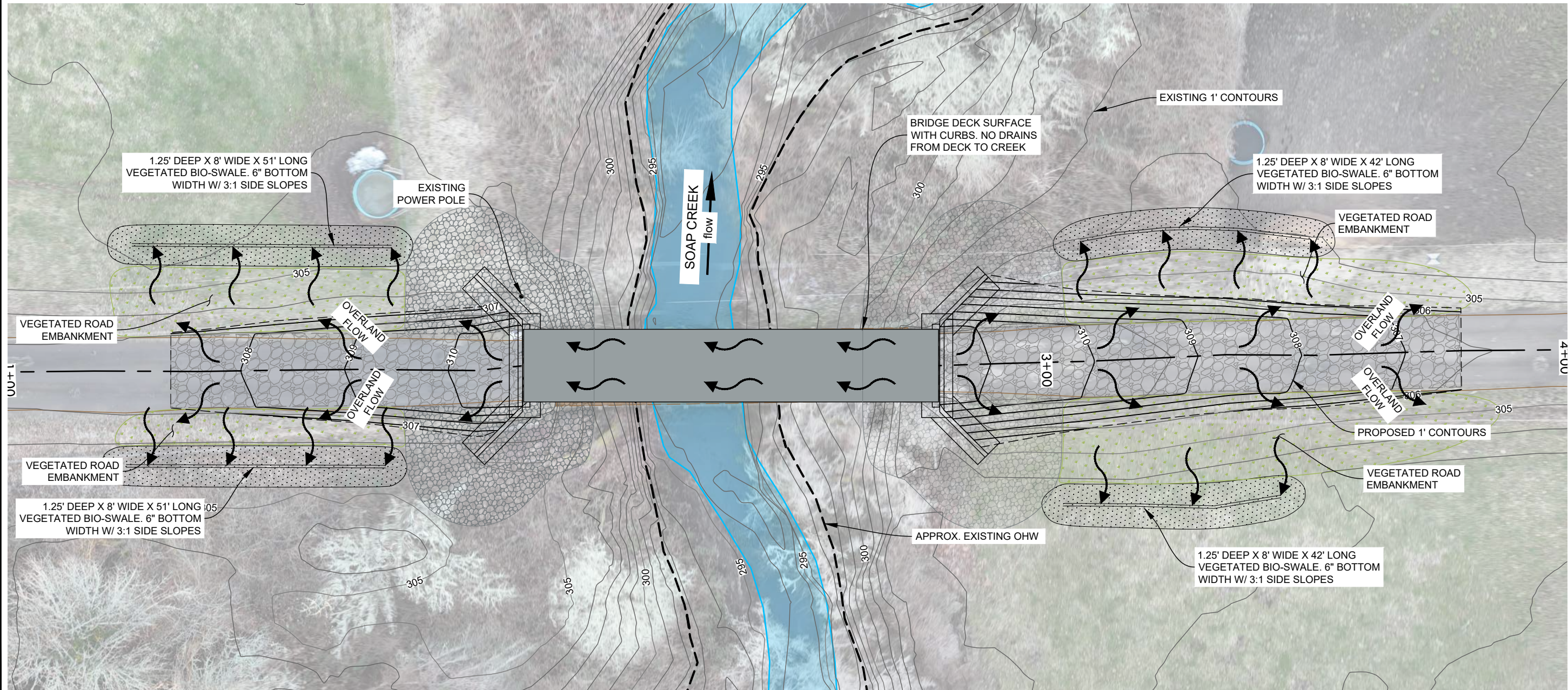
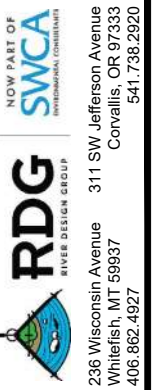
POST-CONSTRUCTION STORMWATER MANAGEMENT (PCSM)

COMMENSURATE WITH THE SCOPE OF THE PROJECT AND ANTICIPATED POST PROJECT MANAGEMENT CONDITIONS, THE PROPOSED PCSM METHOD IS ROUTING TO AND INFILTRATION OF STORM RUNOFF THROUGH VEGETATED BIO-SWALES PLACED ADJACENT TO THE PROPOSED BRIDGE APPROACHES, WHERE STORMWATER WILL BE COLLECTED, NATURALLY TREATED, AND ATTENUATED.

ALL RUN-OFF FROM THE BRIDGE DECK WILL BE DIRECTED TO THE EAST AS A RESULT OF THE BRIDGE HAVING A 1.0% SLOPE. CURBING TO BE INCLUDED IN BRIDGE DECK AND WILL PREVENT STORMWATER FROM DRAINING DIRECTLY OFF THE BRIDGE DECK TO THE CREEK.

ALIGNMENT OF VEGETATED BIO-SWALES TO BE STAKED IN THE FIELD.

VEGETATED BIO-SWALE DIMENSIONS ARE FINISHED DIMENSION AFTER PLACING SOD.



BRIDGE POST-CONSTRUCTION STORMWATER MANAGEMENT

1

1" = 20'



BRIDGE PCSM

SOAP CREEK BRIDGE
CORVALLIS, OR

NO.	DATE	BY	DESCRIPTION	CHK	
				RB	PERMITS
*	8/12/25	GV	PERMITS		

PROJECT NUMBER
24-95474

DRAWING NUMBER

3.4

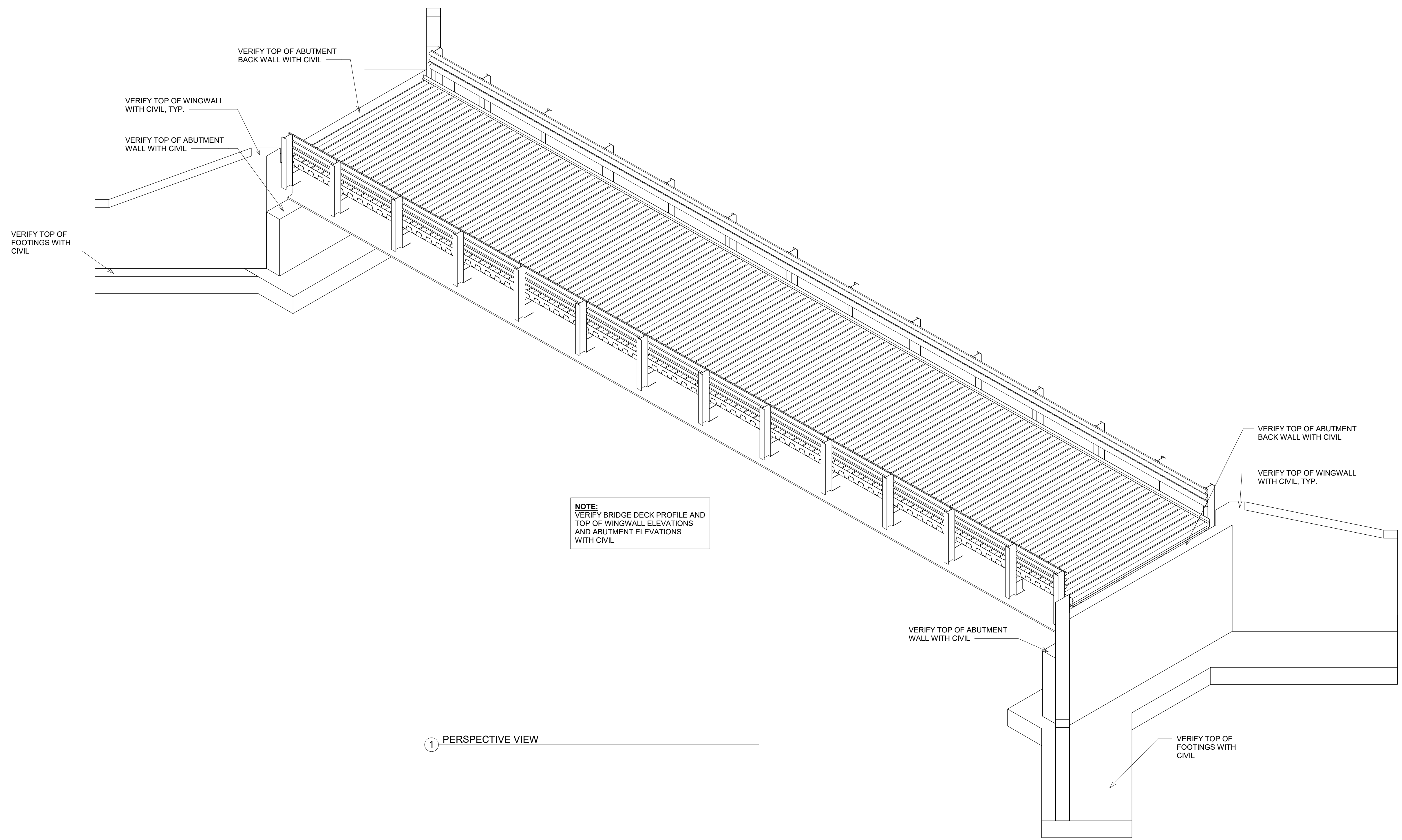
Drawing 9 of 9



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CSE ENGINEERING, INC.
 CONSULTING STRUCTURAL ENGINEERS
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 e-mail: dconklin@cse-engr.com



NOTE:
 VERIFY BRIDGE DECK PROFILE AND
 TOP OF WINGWALL ELEVATIONS
 AND ABUTMENT ELEVATIONS
 WITH CIVIL

① PERSPECTIVE VIEW

14' 0" x 80'-0" REPLACEMENT BRIDGE
BEEF BARN LANE
SOAP CREEK BRIDGE
CORVALLIS, OREGON

PERSPECTIVE

Revision Schedule		
Rev.	Description	Date

date: 08/20/25
 scale:
 drawn: DRC
 job no.: 24-23
 checked: DRC

SHEET:
S1.00



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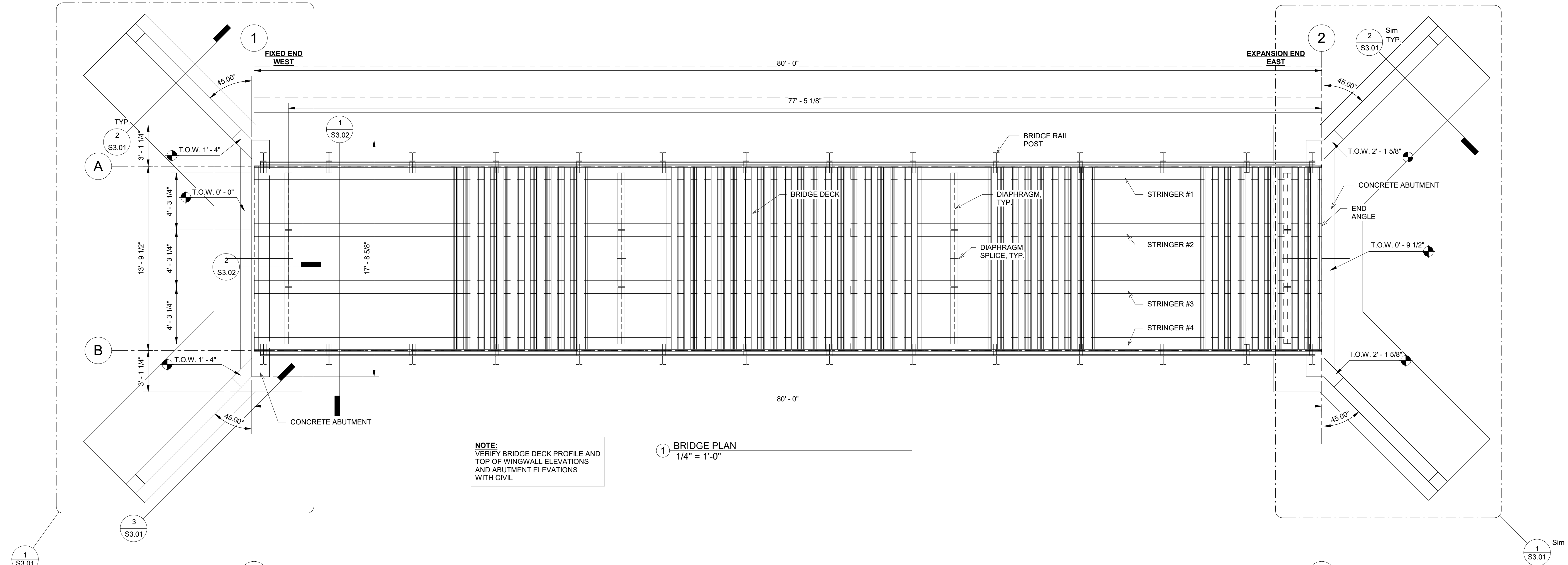
14' 0" x 80'-0" REPLACEMENT BRIDGE
BEEF BARN LANE
SOAP CREEK BRIDGE
CORVALLIS, OREGON

PLAN & SECTIONS

Revision Schedule		
Rev.	Description	Date

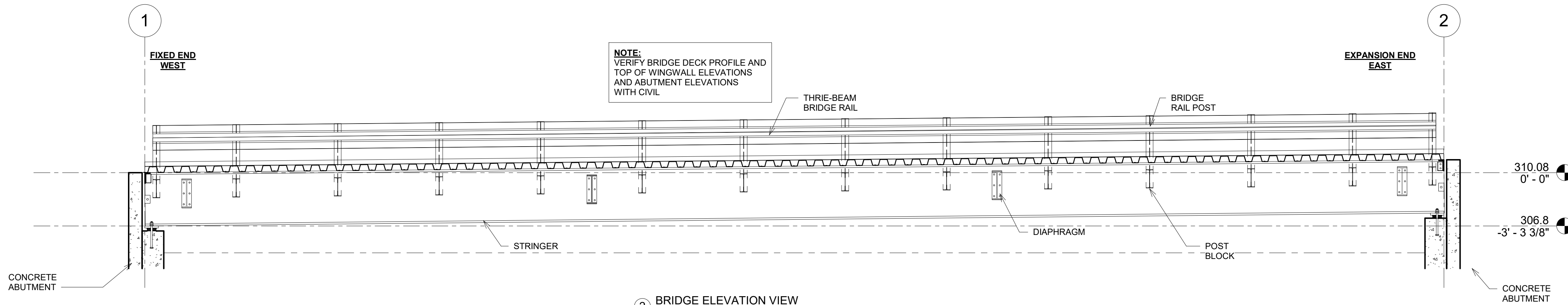
date: 08/20/25
scale: As indicated
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job no.: 24-23
checked: DRC

SHEET:
S3.00



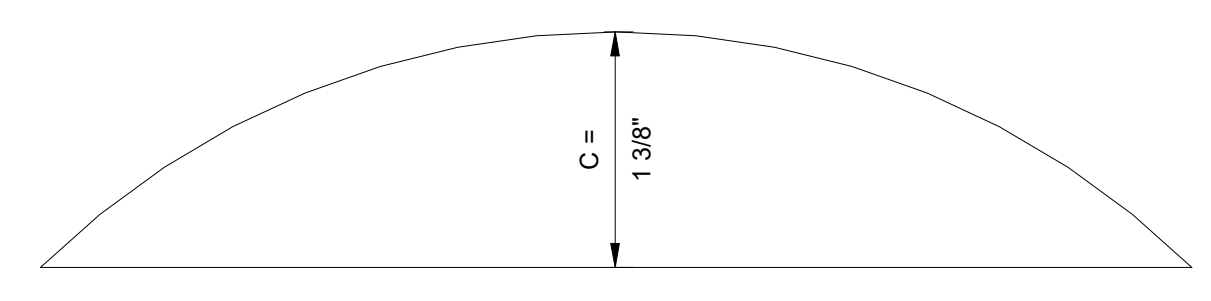
NOTE:
VERIFY BRIDGE DECK PROFILE AND TOP OF WINGWALL ELEVATIONS AND ABUTMENT ELEVATIONS WITH CIVIL

1 BRIDGE PLAN
1/4" = 1'-0"



NOTE:
VERIFY BRIDGE DECK PROFILE AND TOP OF WINGWALL ELEVATIONS AND ABUTMENT ELEVATIONS WITH CIVIL

2 BRIDGE ELEVATION VIEW
1/4" = 1'-0"



3 CAMBER DETAIL
1" = 1'-0"

Unfact. Bearing Reactions, Kips	Max @ Interior Stringer			Max @ Exterior Stringer			Total @ Abutment		
	P	H	L	P	H	L	P	H	L
DC	10.82			11.49			44.63		
DW	13.67			8.73			44.79		
HL-93	LL	52.72		41.17			87.86		
	LL+IM	61.85		48.30			108.51		
U80	LL	65.41		51.07			130.81		
	LL+IM	76.74		59.93			153.48		
WS		-11.20	3.00		3.00		-11.20	12.00	
TU			3.99		3.99		13.35	15.97	
BR			5.20		5.20			20.81	
EQ			13.95	27.89		13.95	27.89		111.58

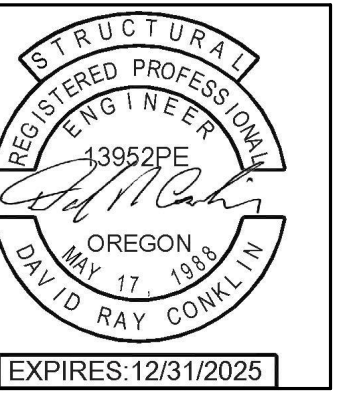
(P): VERTICAL LOAD
(H): HORIZONTAL LOAD TRANSVERSE TO STRUCTURE
(L): HORIZONTAL LOAD LONGITUDINAL TO STRUCTURE

5 LOAD REACTION SUMMARY
1" = 1'-0"

GENERAL NOTES:

- DESIGN IS IN ACCORDANCE WITH "AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS", 9TH EDITION
- DESIGN LOADS:
 - STRENGTH I LIMIT STATE: AASHTO HL-93 W/ DYNAMIC LOAD ALLOWANCE, (IM = 0.33)
 - STRENGTH II LIMIT STATE: U80 TRUCK LOADING W/ DYNAMIC LOAD ALLOWANCE (IM = 0.33)
 - WIND LOADING PER AASHTO SPECIFICATION
WIND SPEED: 100MPH
WIND EXPOSURE: C
MAXIMUM HEIGHT OF STRUCTURE: 30 FT.
 - SEISMIC LOADING PER AASHTO SPECIFICATION
SITE CLASS D
PGA = 0.29
S₀ = 0.62
S₁ = 0.25
S_{D5} = 0.81
 - WEARING SURFACE DEAD LOAD: 80 PSF
 - BRIDGE GUARDRAIL DESIGN: TL-1 LOADING PER AASHTO (NOT CRASH TESTED)
 - BRIDGE CONCRETE SUPPORT ABUTMENT:
ALLOWABLE BEARING: SERVICE: 3000 PSF (SEE GEOTECHNICAL REPORT)

- MATERIALS:
 - STRUCTURAL STEEL:
 - STRINGERS:
 - STRINGER 1 ASTM A588
 - STRINGER 2 & 3, STRINGER 4 NUCOR Q65
 - OTHER SHAPES: ASTM A588
 - PLATES: ASTM A588
 - STEEL BRIDGE DECK: ASTM A653 GR. 50 CLASS 1, GALVANIZED
 - STRUCTURAL BOLTS: ASTM A325
 - ANCHOR BOLTS: ASTM F1554 GR. 55
 - GUARDRAIL BOLTS: ASTM A307 (GALVANIZED)
 - WELDING: PER AWS D1.5
ELECTRODES: E70XX
f_c = 4,000 PSI @ 28 DAY, CLASS A
AIR CONTENT, 5% +/- 1%
 - CONCRETE: ASTM A615 GR. 60
 - REINFORCEMENT: ASTM A615 GR. 60



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14' 0" x 80' 0" REPLACEMENT BRIDGE
BEEF BARN LANE
SOAP CREEK BRIDGE
CORVALLIS, OREGON

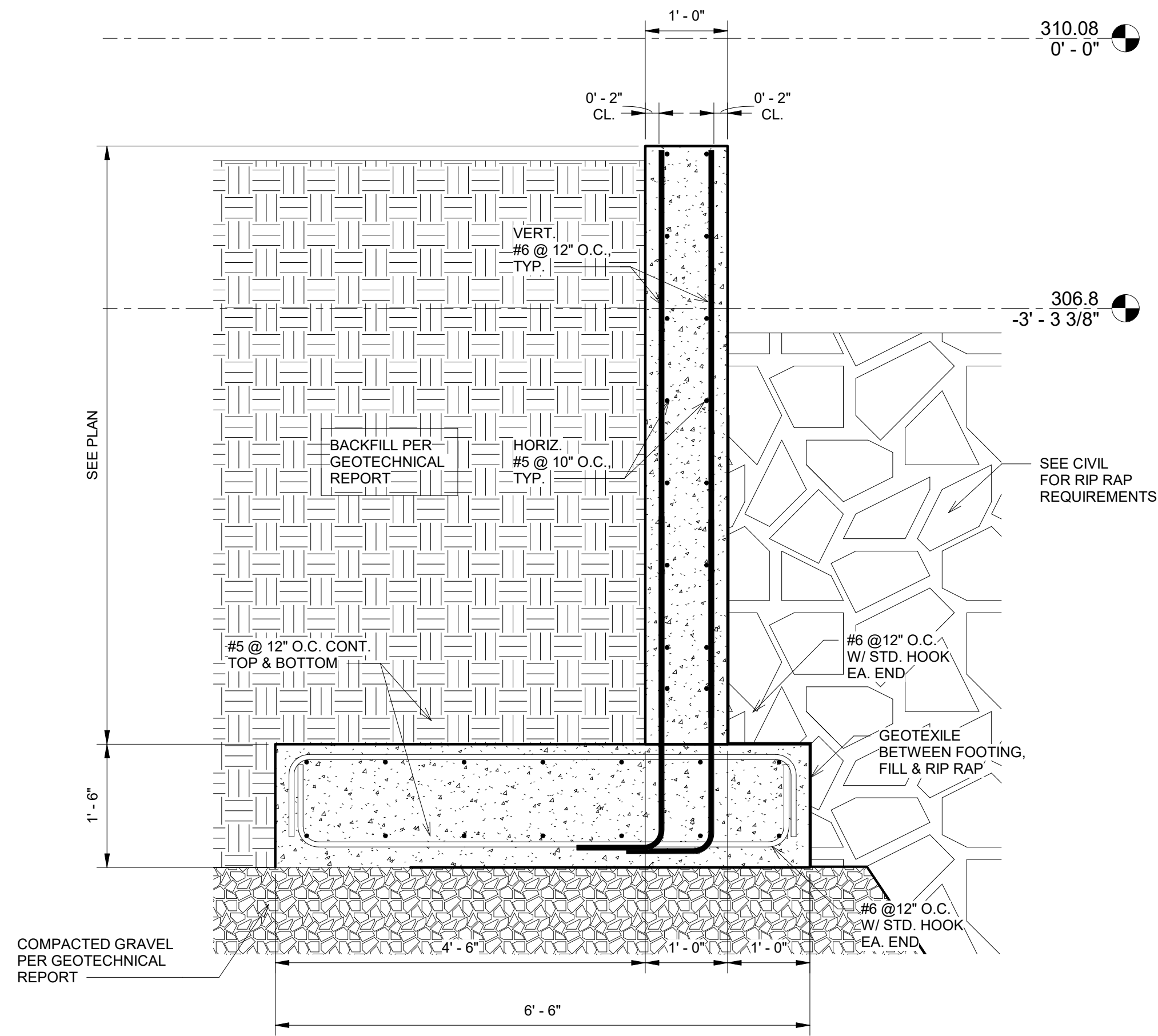
PLAN & SECTIONS

Revision Schedule		
Rev.	Description	Date

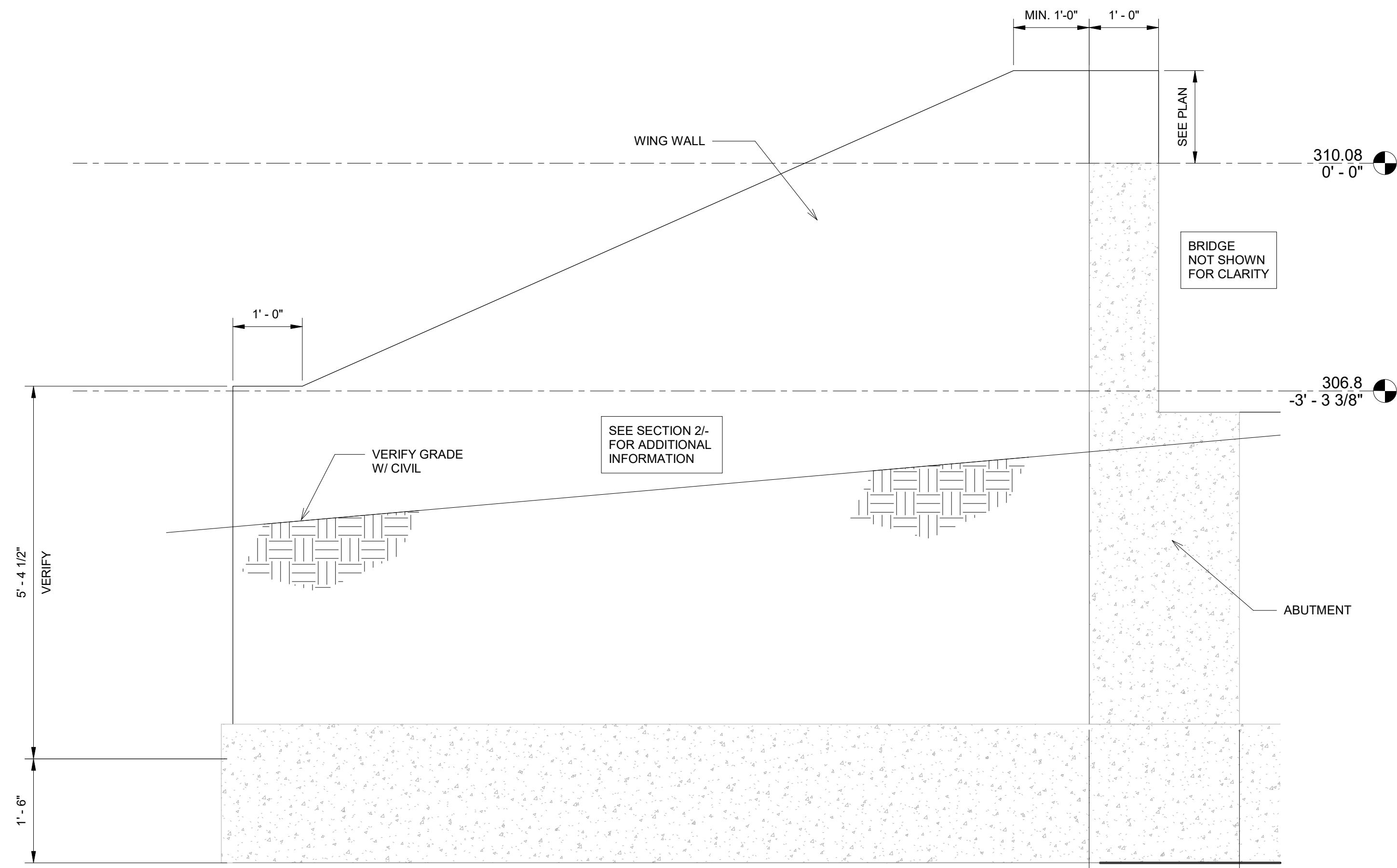
date: 08/20/25
 scale: As indicated
 drawn: DRC
 job no.: 24-23
 checked: DRC

SHEET:

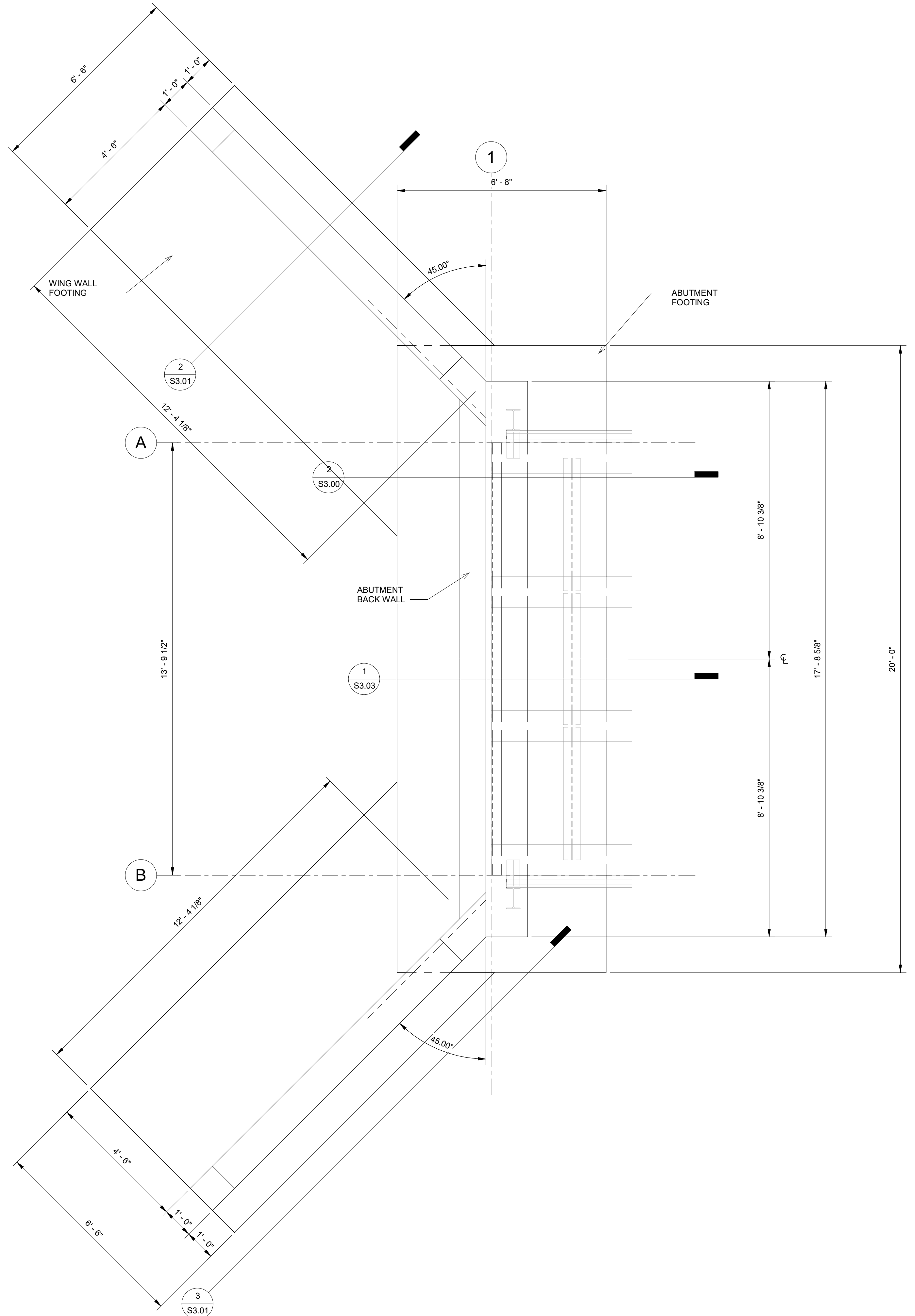
S3.01



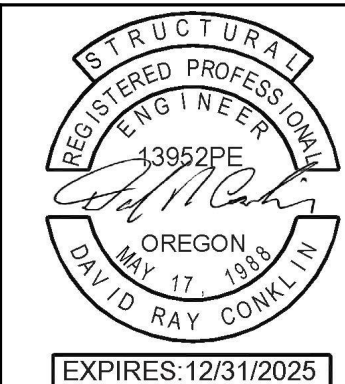
2 WING WALL SECTION
 3/4" = 1'-0"



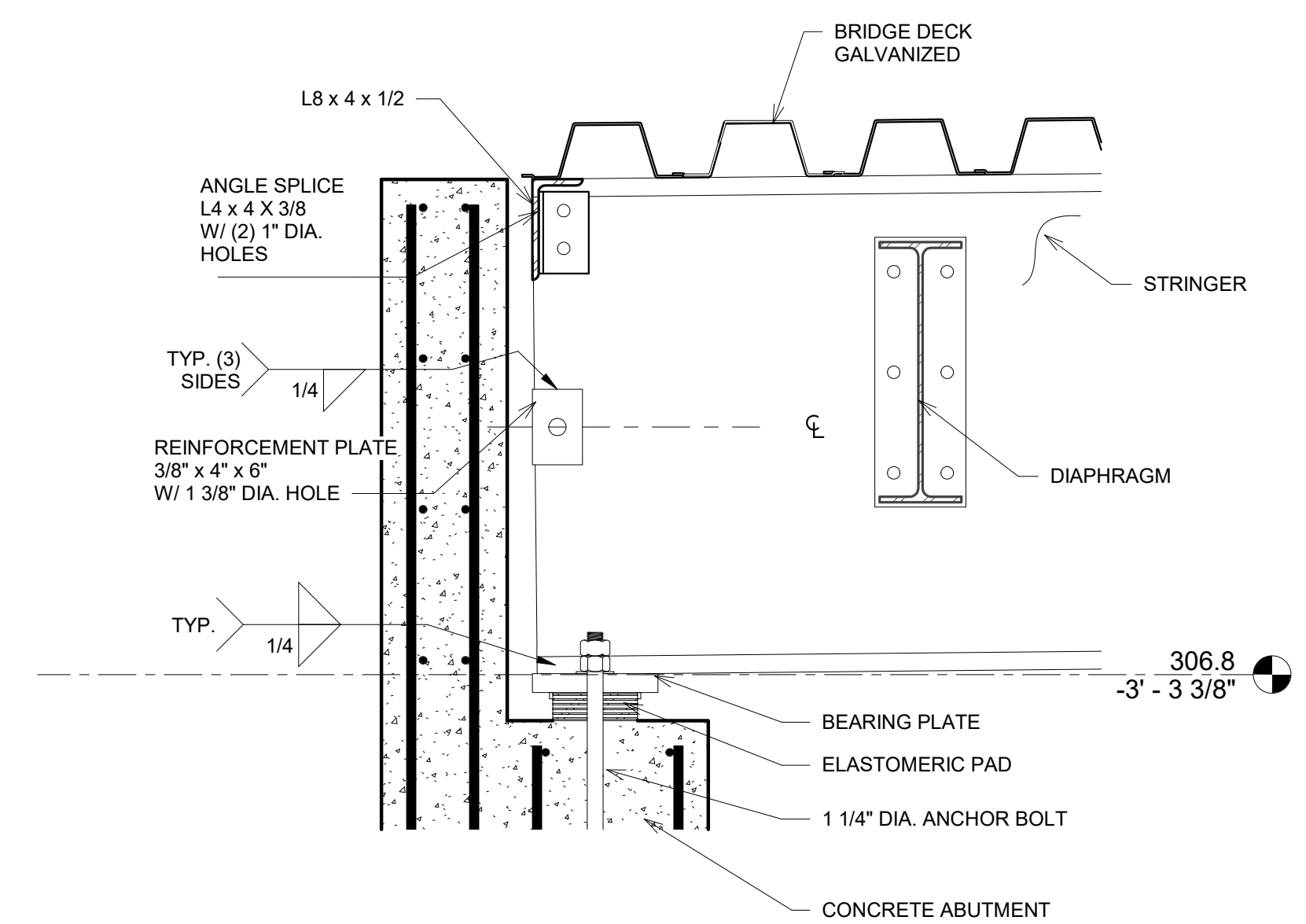
3 WING WALL ELEVATION
 3/4" = 1'-0"



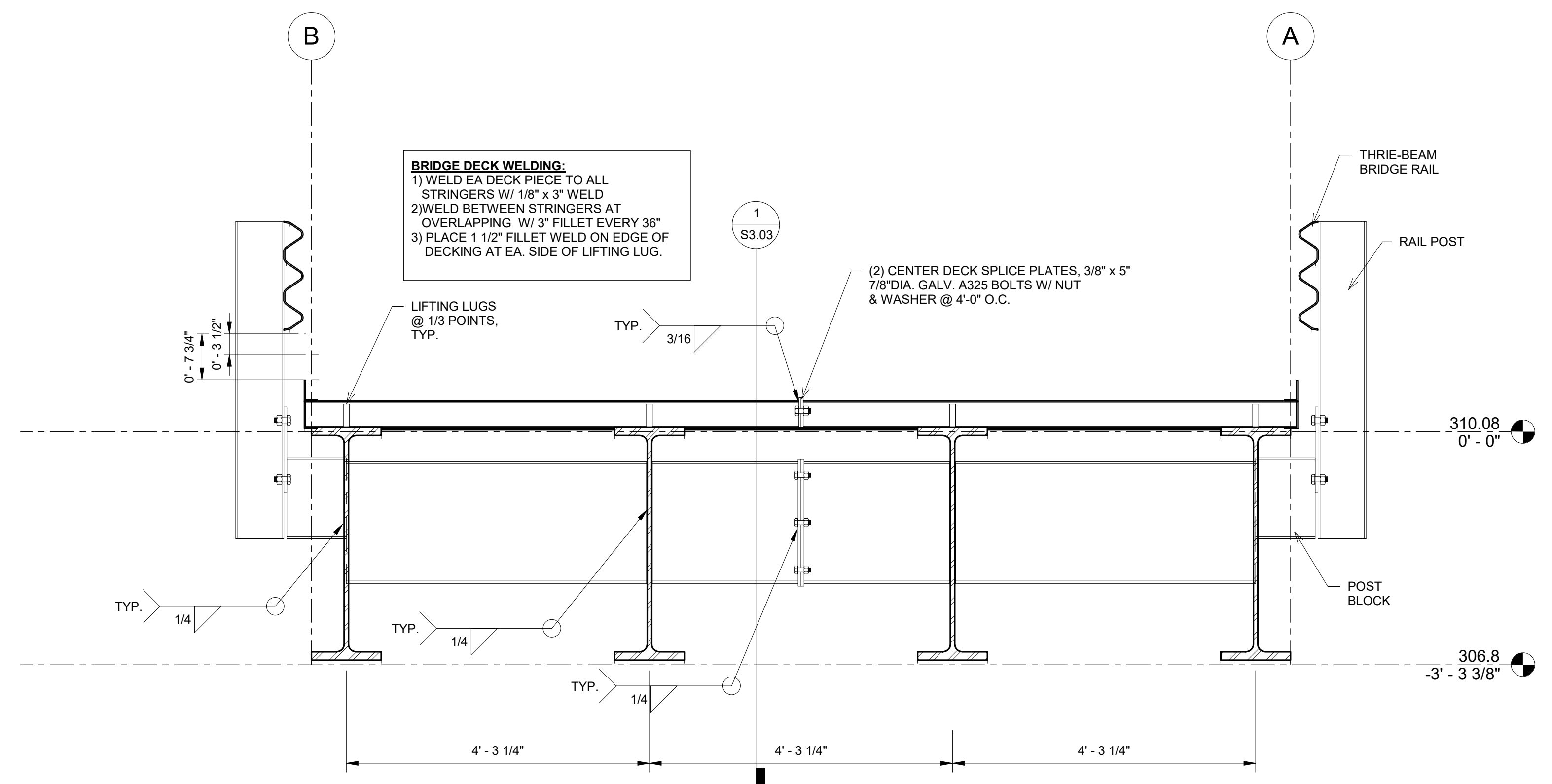
1 ENLARGED PARTIAL PLAN
 1/2" = 1'-0"



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 e-mail: don@kln.com



② STRINGER BEARING DETAIL
 1" = 1'-0"



① BRIDGE SECTION
 3/4" = 1'-0"

14' 0" x 80'-0" REPLACEMENT BRIDGE
 BEEF BARN LANE
 SOAP CREEK BRIDGE
 CORVALLIS, OREGON

SECTIONS

Revision Schedule		
Rev.	Description	Date

date: 08/20/25
 scale: As indicated
 drawn: DRC
 job no.: 24-23
 checked: DRC

SHEET:
S3.02



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14' 0" x 80' -0" REPLACEMENT BRIDGE
BEEF BARN LANE
SOAP CREEK BRIDGE
CORVALLIS, OREGON

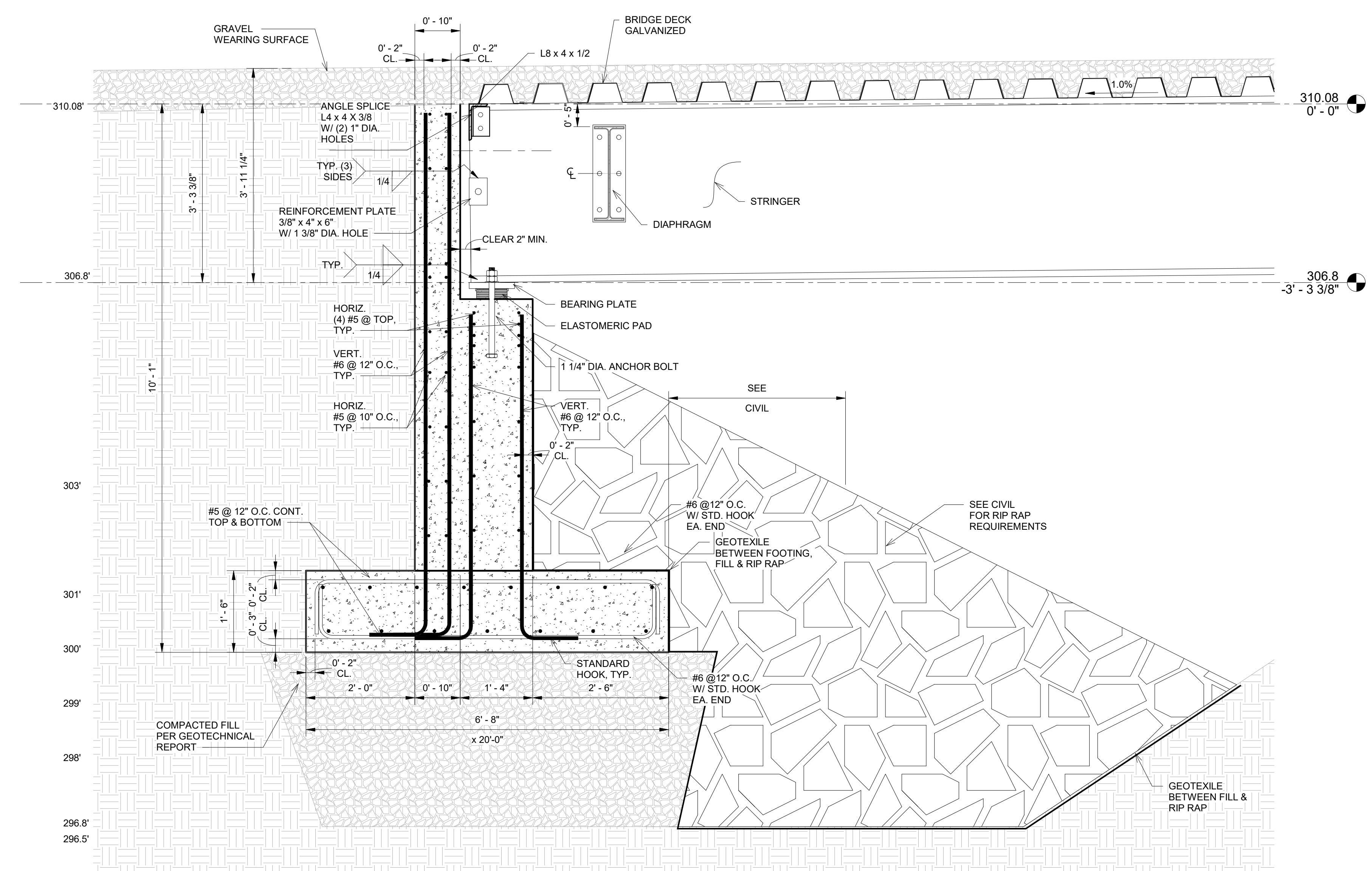
SECTIONS

Revision Schedule		
Rev.	Description	Date

date: 08/20/25
 scale: 3/4" = 1'-0"
 drawn: DRC
 job no.: 24-23
 checked: DRC

SHEET:

S3.03



BRIDGE ABUTMENT SECTION - EAST
 END
 1 3/4" = 1'-0"

